



PLANNING BOARD

DOVER, MASSACHUSETTS

To: Dover Planning Board

From: Courtney Starling, Land Use Director

Date: May 5, 2021

Subject: **Site Plan Review to construct a pool and pool house in the rear yard**

Location: 25 Haven Street

Map:	5	Lot Area:	7.72 Acres
Block:	176	Zoning District:	R1
Lot:	0	Use:	Single-Family Home

Project Narrative

The applicants, Daniel and Justine O'Connell, are proposing to construct a pool and cabana in the rear yard of the property. The lot, which is an odd-shaped "flag-lot" with a narrow strip of frontage on Haven Street, has an access driveway to the buildable area in the rear of the lot. The proposed pool will be located in the center of the property adjacent to the existing single-family home. The proposed pool will measure 15' x 30'. Adjacent to the pool, the applicant is proposing to construct a 750 s.f., 25' x 30' single-story pool house. The pool house will consist of a bathroom, den with fireplace accompanied by a sink and counter. The pool house will be clad in standing seam aluminum with a stone fireplace.

Findings

Preliminary Site Plan Review Required

185-10: Table of Uses

185-36: Site Plan Review

Site Plan Review Criteria

- (a) Compliance with the requirements for lot size, frontage, lot coverage of buildings, height, parking and loading spaces, yards, and all other provisions of this Chapter;
The application complies with these requirements.
- (b) The location of driveway openings in relation to street traffic, and the convenience and safety of pedestrian, bicycle, and vehicular traffic to, from, and on the site;
The existing driveway opening is not affected by the project. The pool and pool house are located to the rear of the existing home and there are associated no pedestrian, bicycle, or vehicular traffic issues with this proposal.
- (c) The adequacy of arrangement and number of parking and loading spaces in relation to the proposed use of the premises;
The existing single-family home has excess parking to serve the principal and proposed accessory uses of the property.
- (c) The arrangement and appearance of proposed new buildings, structures, colors and materials, or changes to the aspects of a site as defined in C(2) above;
The proposed pool house structure is designed and clad to match the architectural vernacular of the existing single family home.

- (d) Provisions to protect surrounding premises against detrimental impacts;
The pool and pool house are not visible to neighboring properties.
- (e) The relationship of structures, design aspects, and open spaces to the natural landscape, existing buildings, historic and architectural heritage, and other community assets;
The pool and pool house are out of view from public spaces. No historic or archeological resources are impacted.
- (f) Potential impacts on natural resources, including groundwater and open space;
The pool is being constructed away from the existing well and septic field within an open area of the site. No trees will be removed as part of the construction of the pool and pool house, while new landscaping will be added.
- (g) Potential impacts on Town resources, including protective agencies, streets, and public spaces;
As an accessory use to an existing residence, the project has minimal impact on Town resources.
- (h) Harmony in architectural treatment and avoidance of incongruous or inappropriate character or architectural appearance and arrangement of buildings; and
The architectural treatment and arrangement of the pool and pool house are generally appropriate accessory structures to a residence. Although the pool house is fairly large in terms of square footage, it is not out of scale with the existing home.
- (i) Compliance with all other requirements of this Chapter.
The project complies with all other requirements of the Zoning Bylaw.

Site Photos

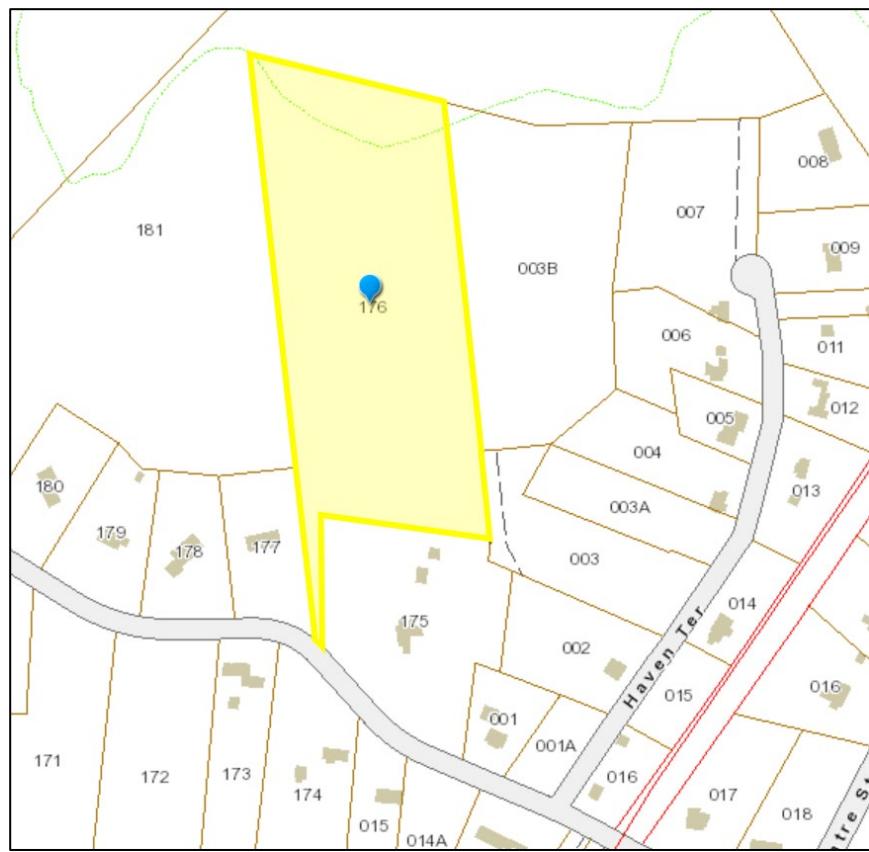


Recommendation

Approve the plans by Signature Design Architecture, stamped and signed by Henry Bobek, dated 1/18/21, and the site plan stamped and signed by Stephen Davis, dated 1/21/21, subject to the following conditions:

1. The pool house may not be used as an Accessory Apartment pursuant to Section 185-43 of the Zoning Bylaws.

Assessor's Map



Attached: Site Plan & Architectural Drawings

LEGEND

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F.F. FINISHED FLOOR
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INV. INVERT
PP. POWER POLE
SMH SEWER MANHOLE
GAR. GARAGE
TH. THRESHOLD
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