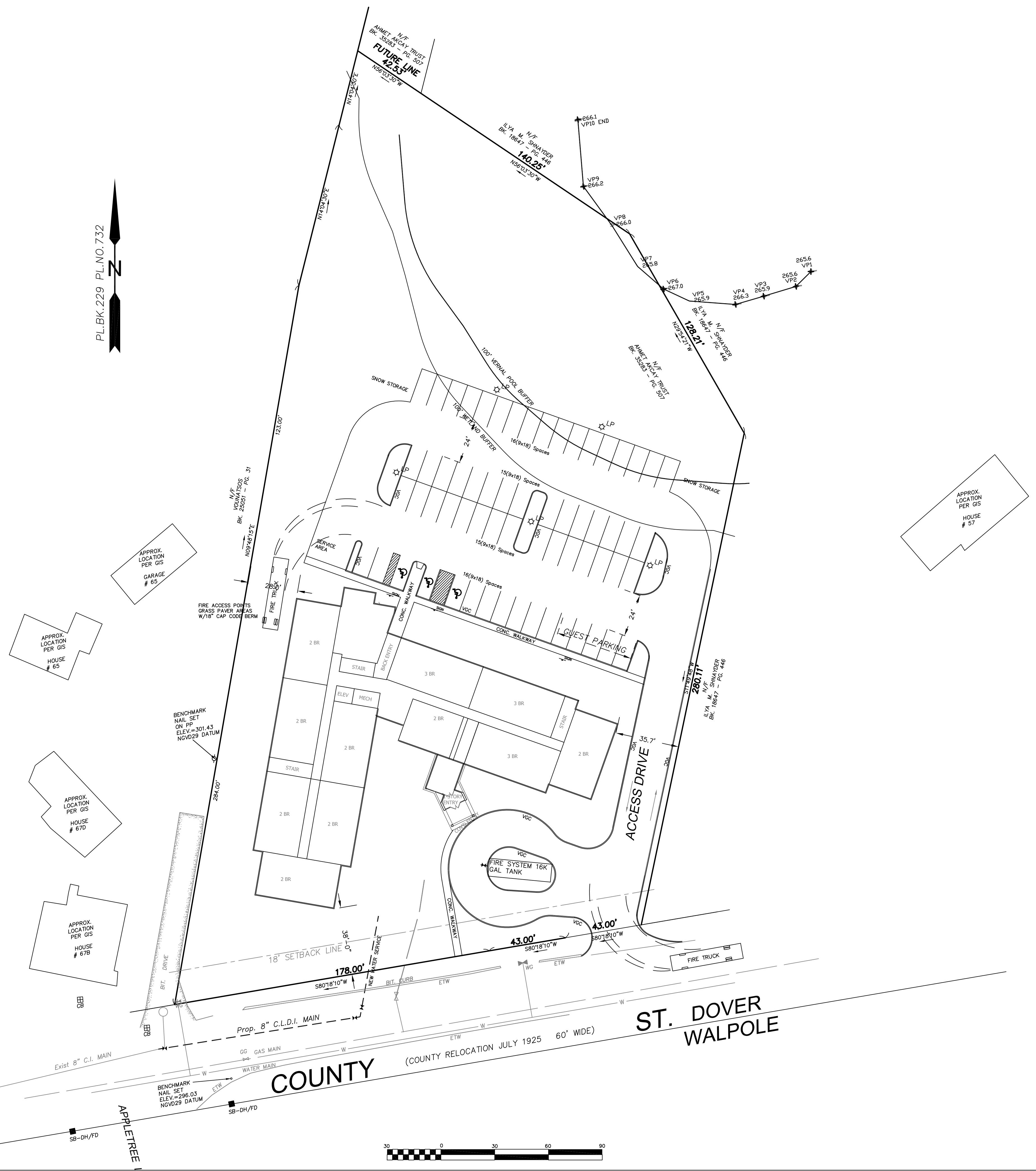


RED ROBIN PASTURES  
COUNTY STREET, DOVER, MA

# ARÇHİTECTÜRE

do.  
C1  
of: 23

Scale	AS NOTED
Date	12/18/20



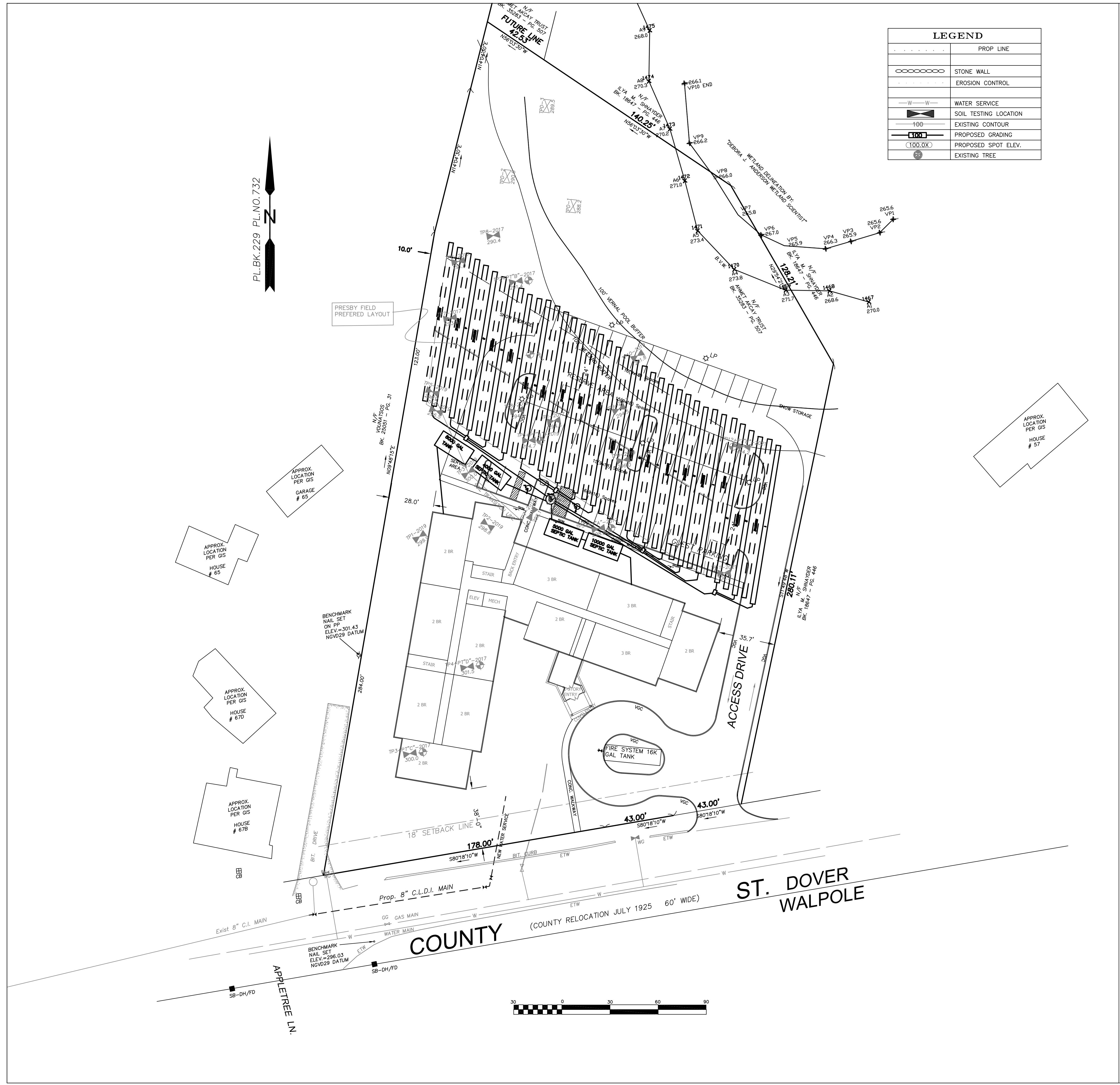
LEGEND	
—	PROP LINE
○○○○○○○○	STONE WALL
· · · · ·	EROSION CONTROL
— W — W —	WATER SERVICE
	SOIL TESTING LOCATION
— 100 —	EXISTING CONTOUR
— 100 —	PROPOSED GRADING
100.0X	PROPOSED SPOT ELEV.
	EXISTING TREE

*awing Description*  
**SITE LAYOUT AND DETAILS  
RED ROBIN PASTURES  
COUNTY STREET, DOVER, MA**

The logo for Signature Designs Architecture. It features a large, stylized letter 'A' and a smaller, vertical letter 'D' intertwined. To the right of the logo, the words 'Signature Designs' are written in a bold, italicized serif font, and 'ARCHITECTURE' is written in a bold, sans-serif font directly below it.

Sheet No.  
**C2**  
Of: **23**

Designer/Drafter	Rev. #	Date
Scale	1	06/14/21
AS NOTED		
Date		

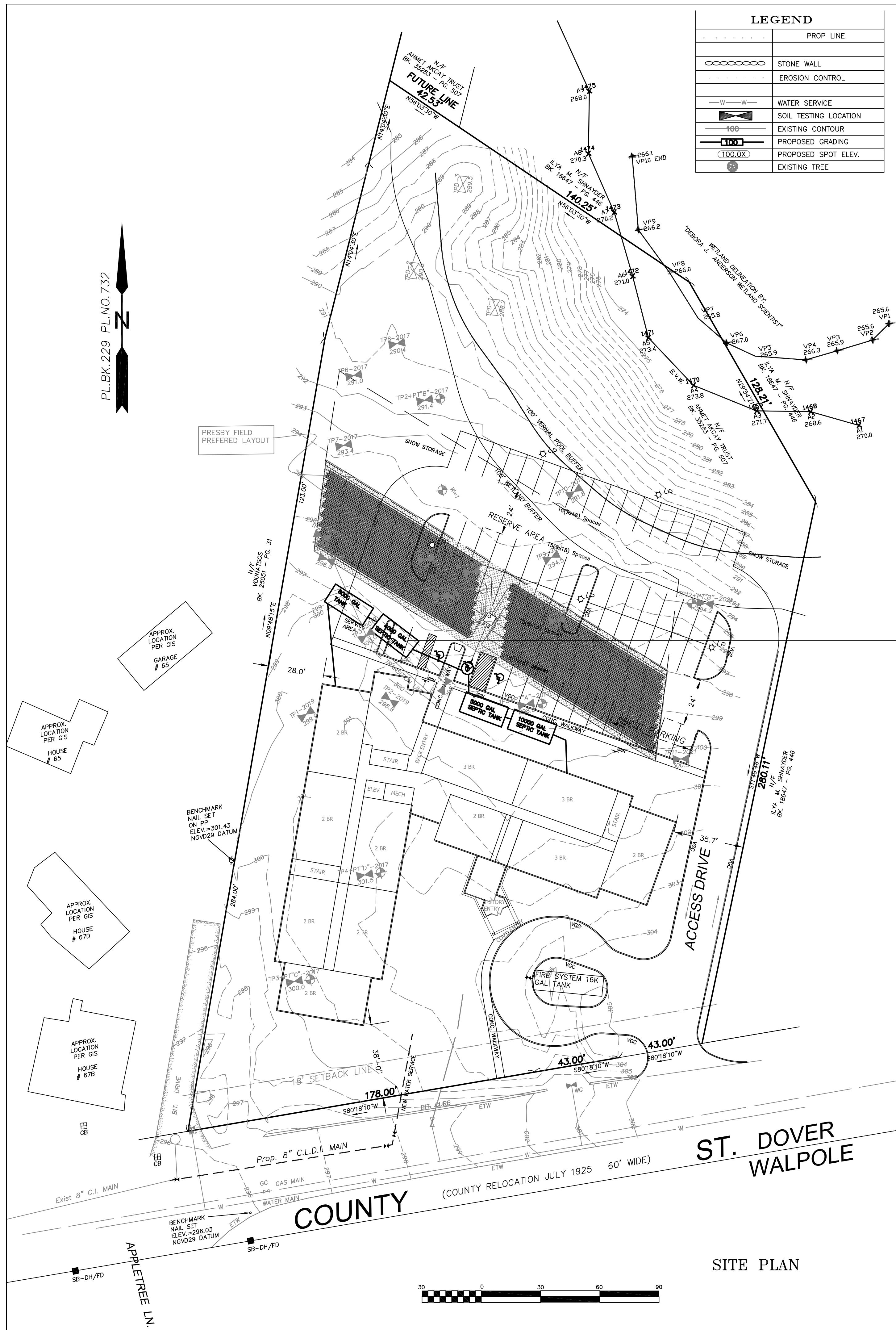


Designer/Drafter	Rev. #	Date
	—	06/14/21
Scale		
As Noted		
Date		12/18/20

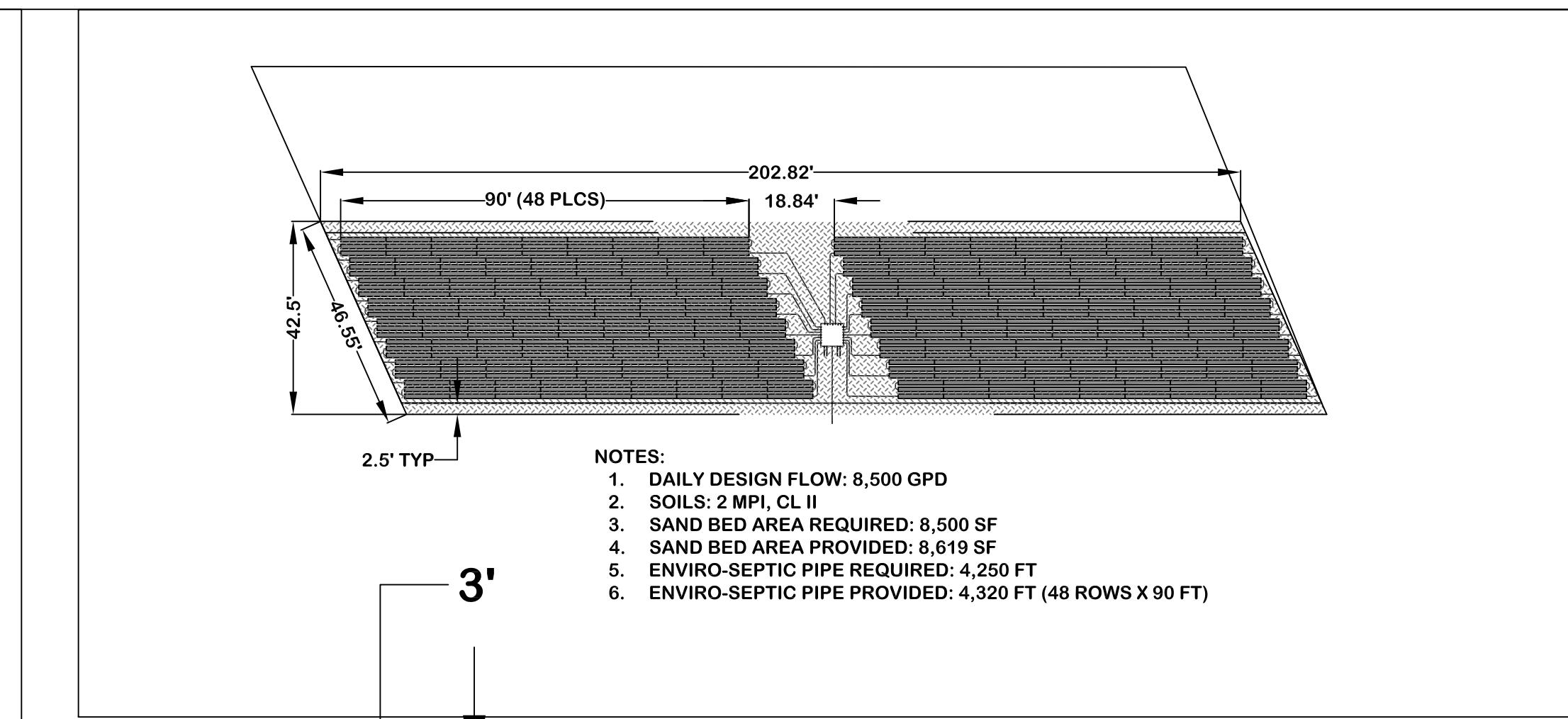
Drawing Description: **STANDARD TITLE V SYSTEM  
RED ROBIN PASTURES  
COUNTY STREET, DOVER, MA**

Design & Drafting services performed by:  
**Signature Designers**  
**ARCHITECTURE LTD.**  
 73 Bishop Road, Sharon, MA 02067 781.806-0063

Sheet No. **C3**  
 of 23

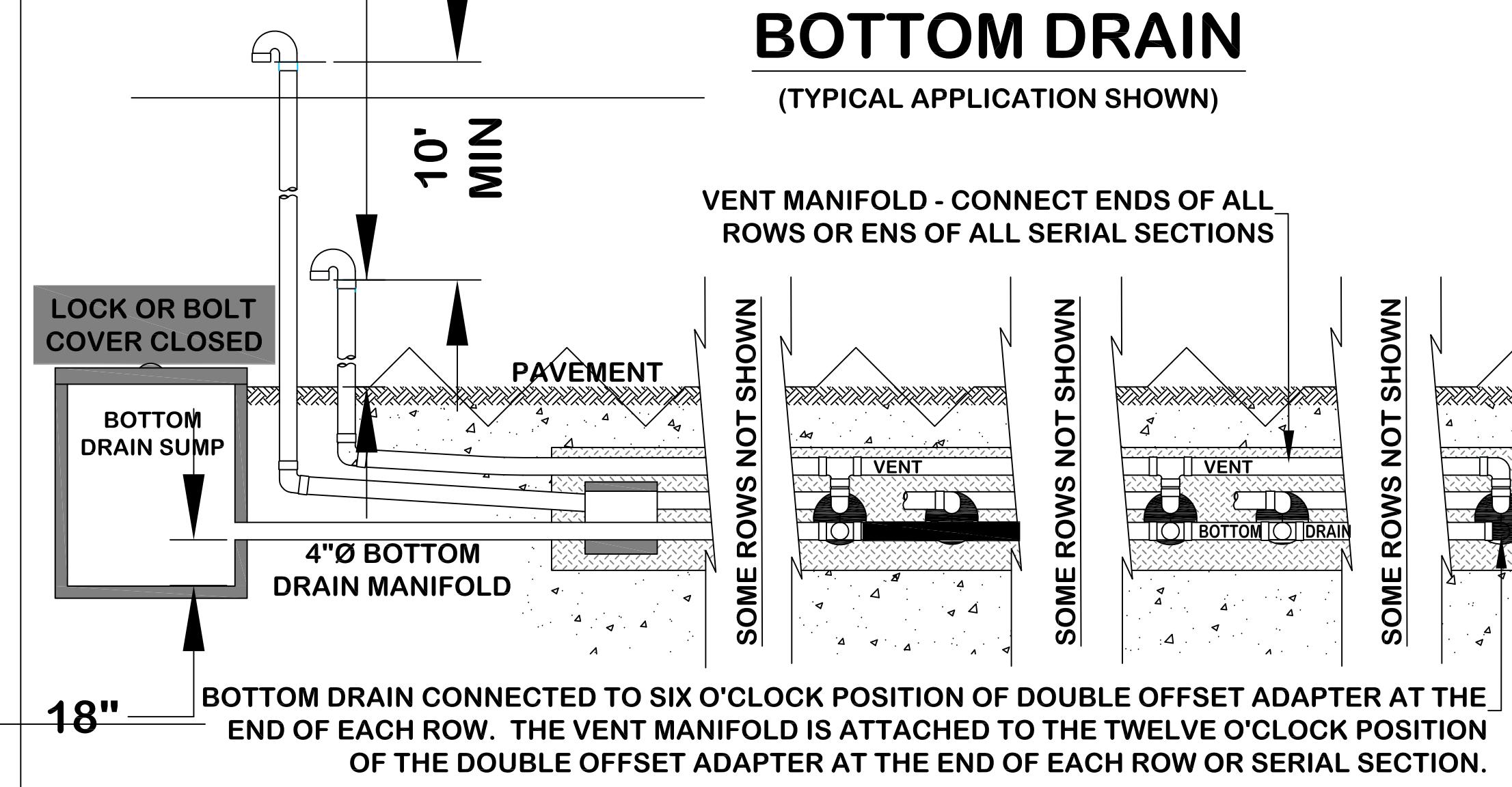


LEGEND	
Prop Line	
Stone Wall	
Erosion Control	
Water Service	
Soil Testing Location	
100' Existing Contour	
Proposed Grading	
(100.0X) Proposed Spot Elevation	
Existing Tree	



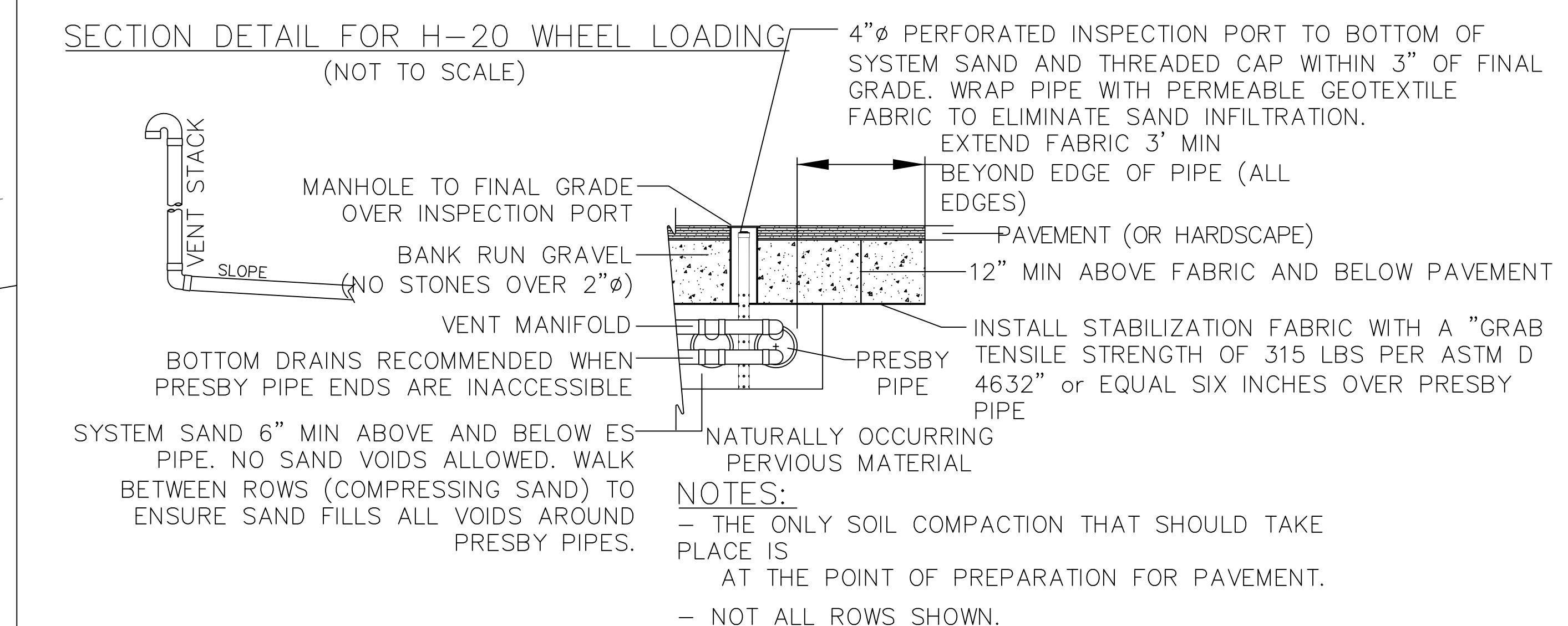
## NOTES & SPECIFICATIONS

1. All work shall be in conformance with NPDES permit and Spill Prevention Plans.
2. Pipes and fittings shall be Schedule 40 PVC (polyvinyl chloride) manufactured in accordance with the latest requirements of ASTM D3034. Joints shall be solvent welded type(tight joints). Pipe to be laid on firm compacted base.
3. Perforated pipe, when required, shall be schedule 40 PVC (ASTM D1785) for entire length of system. All joints shall be tight joint. Orifice dia.=3/8" to 5/8".
4. Washed stone and other soil materials shall be in conformance with ASTM Standard.
5. Fill Material shall be clean granular material with a percolation rate of 2 min./inch or less, be free of deleterious material, and properly compacted to minimize settlement, or allowed to settle for twelve months.
6. No fill shall be placed on the plan without the authorization of the engineer, the Board of Health & Town Engineer.
7. Contractor must notify dig safe & the local water department prior to beginning excavation work.
8. Construction access is limited to the existing driveway. Prior approval and permit from the Town or other Highway Department will be required for any area of disturbance within the right of way to obtain access or install any proposed system.
9. Notify Town of Dover Board of Health 3 days prior to start of construction.
10. Vehicular traffic over, parking of vehicles on, stockpiling of materials over, or storage of equipment on system shall not be allowed at any time.
11. Dewatering is required if fill is to be placed below ground water.
12. There are no industrial category or prohibited wastewater are used currently at this site.
13. Fill shall not be placed during rain or snow storms.
14. 48 Hour notice for field inspection, call Town Engineer for schedule.
15. Design Engineer to certify system installed & operating.
16. Weekly or as needed inspections required.
17. Decommission when practical.



**DIG SAFE NOTE:**  
UTILITIES ARE PLACED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 {1(888)DIG-SAFE}.

## SECTION DETAIL FOR H-20 WHEEL LOADING (NOT TO SCALE)

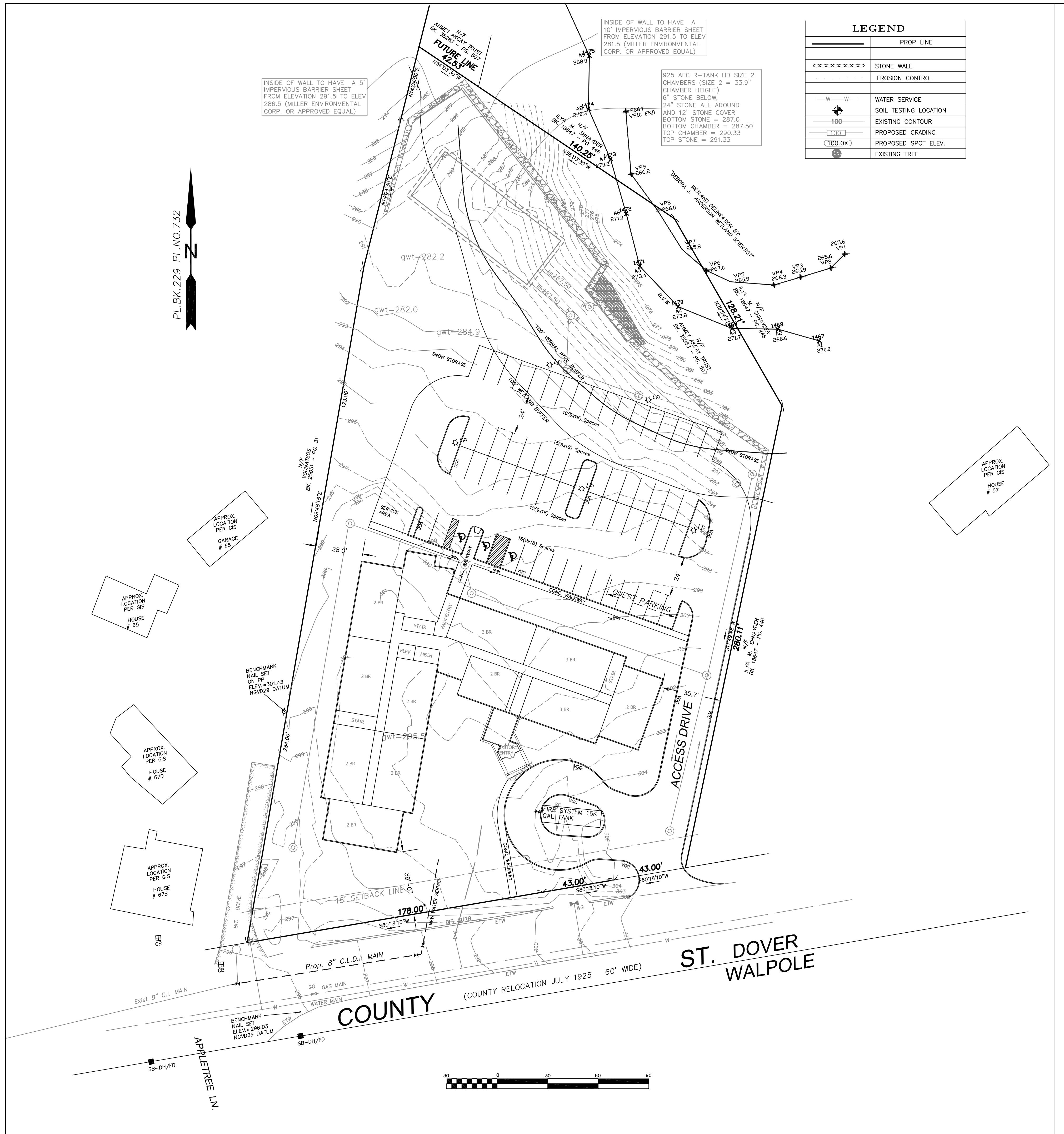


Drawing Description: PRESBY SANITARY SYSTEM  
RED ROBIN PASTURES  
COUNTY STREET, DOVER, MA

Design & Drafting services performed by:  
**Signature Designers**  
ARCHITECTURE  
73 Bishop Road, Sharon, MA 02067 781.865-0063

Sheet No. C5  
of 23

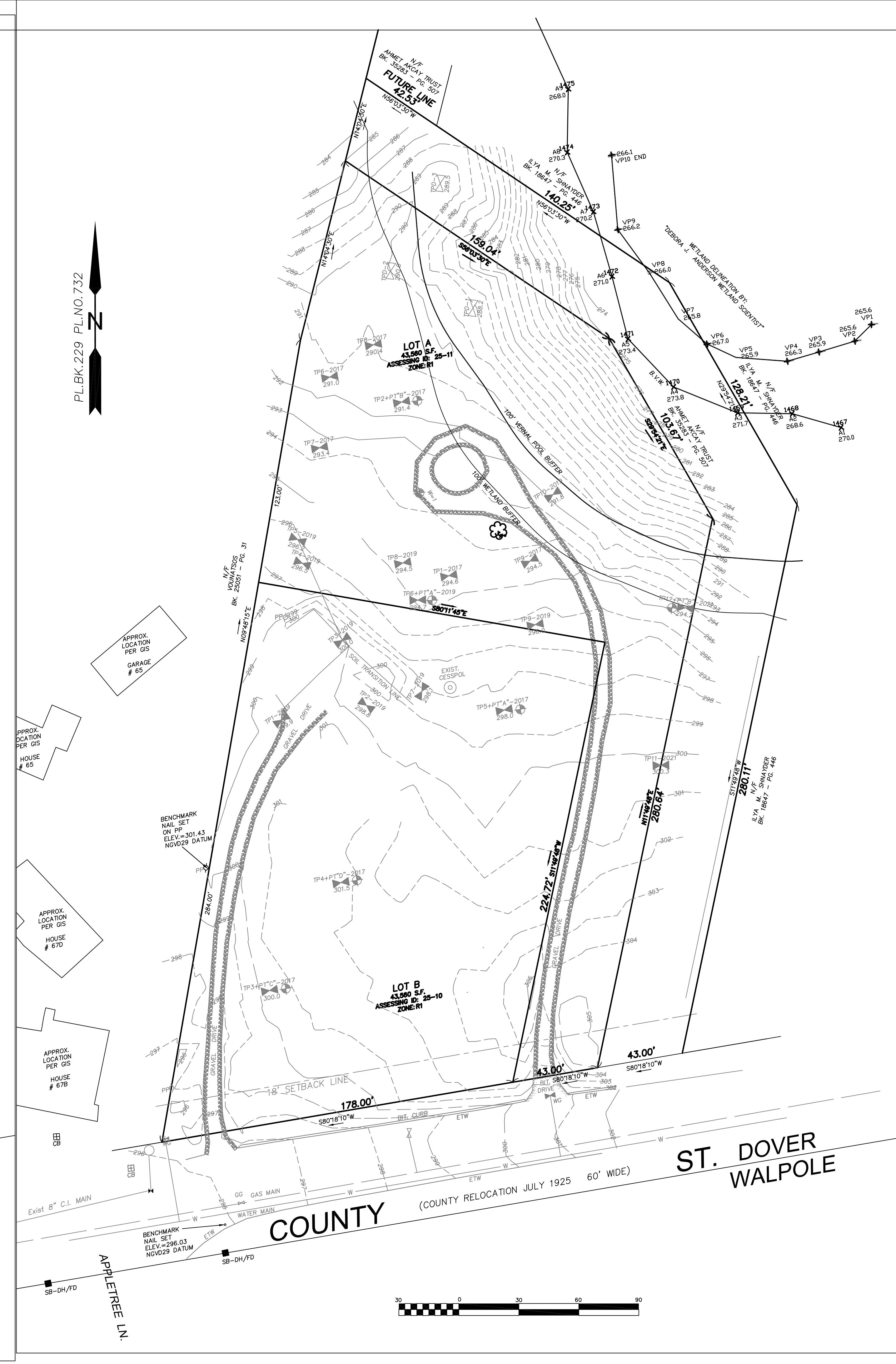
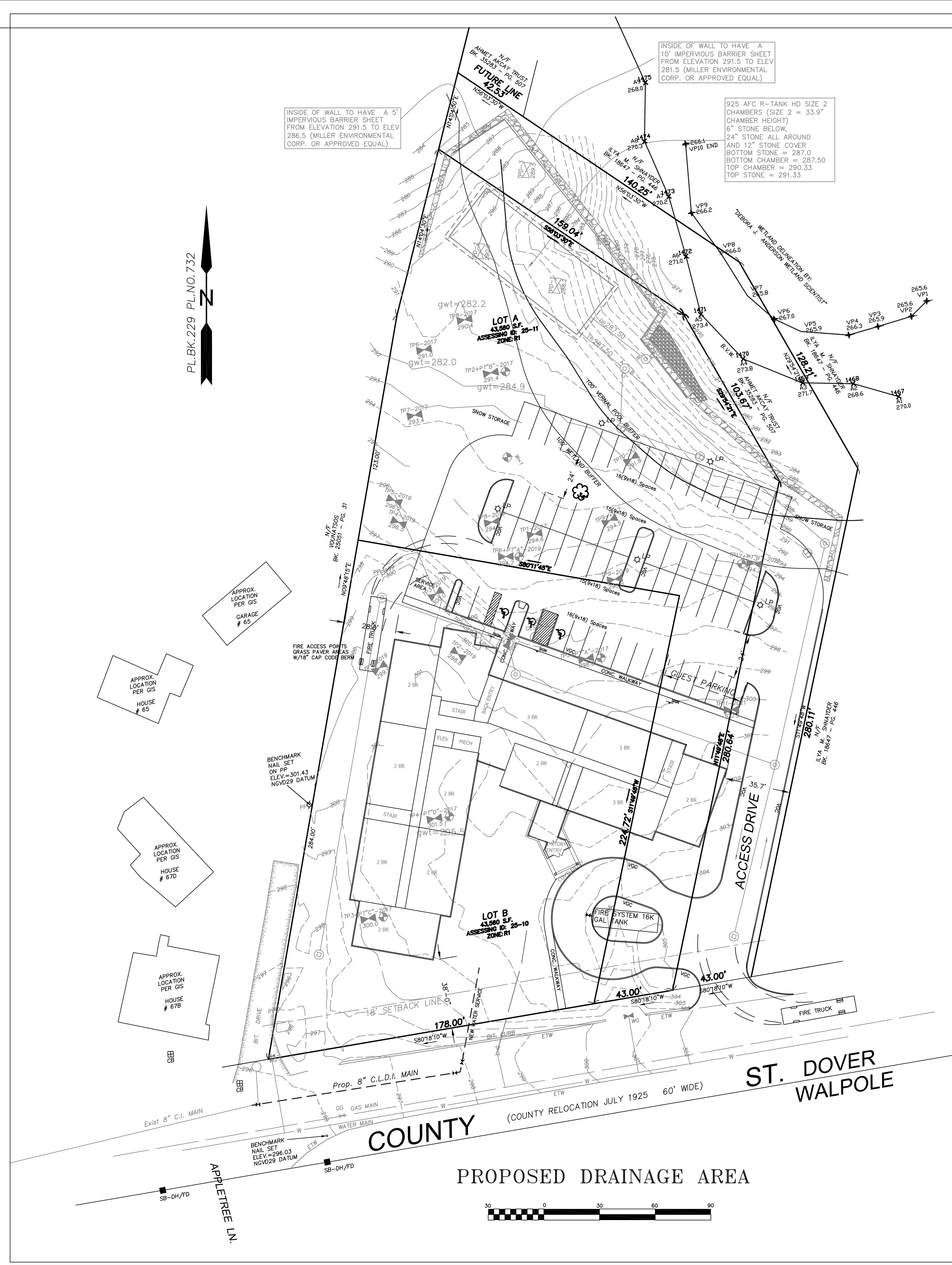
Date: 06/14/21  
Rev. #: -  
Designer/Drafter: \_\_\_\_\_  
Scale: \_\_\_\_\_  
Date: 12/18/20



DRAINAGE & GRADING PLAN  
RED ROBIN PASTURES  
COUNTY STREET, DOVER, MA

The logo for Signature Designs Architecture. It features a stylized icon of a house with a gabled roof and a grid-like pattern for the windows and doors. Below the icon, the word "Signature" is written in a bold, italicized, cursive font, and "DESIGNS" is in a bold, sans-serif font. To the right of "DESIGNS", the word "ARCHITECTURE" is written in a bold, sans-serif font. To the right of the logo, the company's address and phone number are listed: "73 Bishop Road, Sharon, MA 02067" and "781 806-0063".

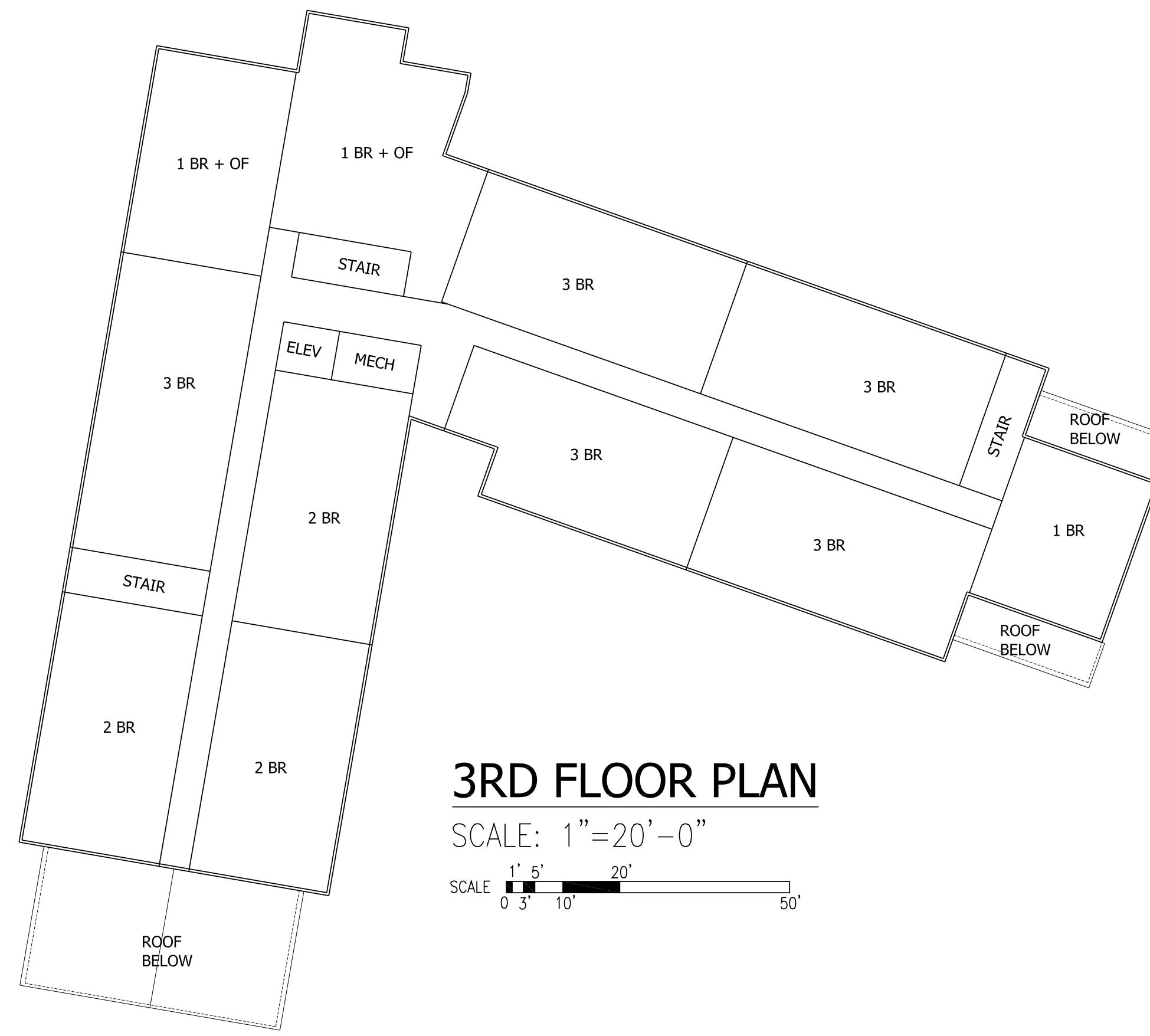
Sheet No.  
**C6**  
of: **23**



Drawing Description  
**EXIST & PROPOSED DRAINAGE AREAS  
RED ROBIN PASTURES  
COUNTY STREET, DOVER, MA**

Design & Drafting services performed by:  
***Signature Design***  
ARCHITECTURE  
73 Bishop Road, Sharon, MA 02060

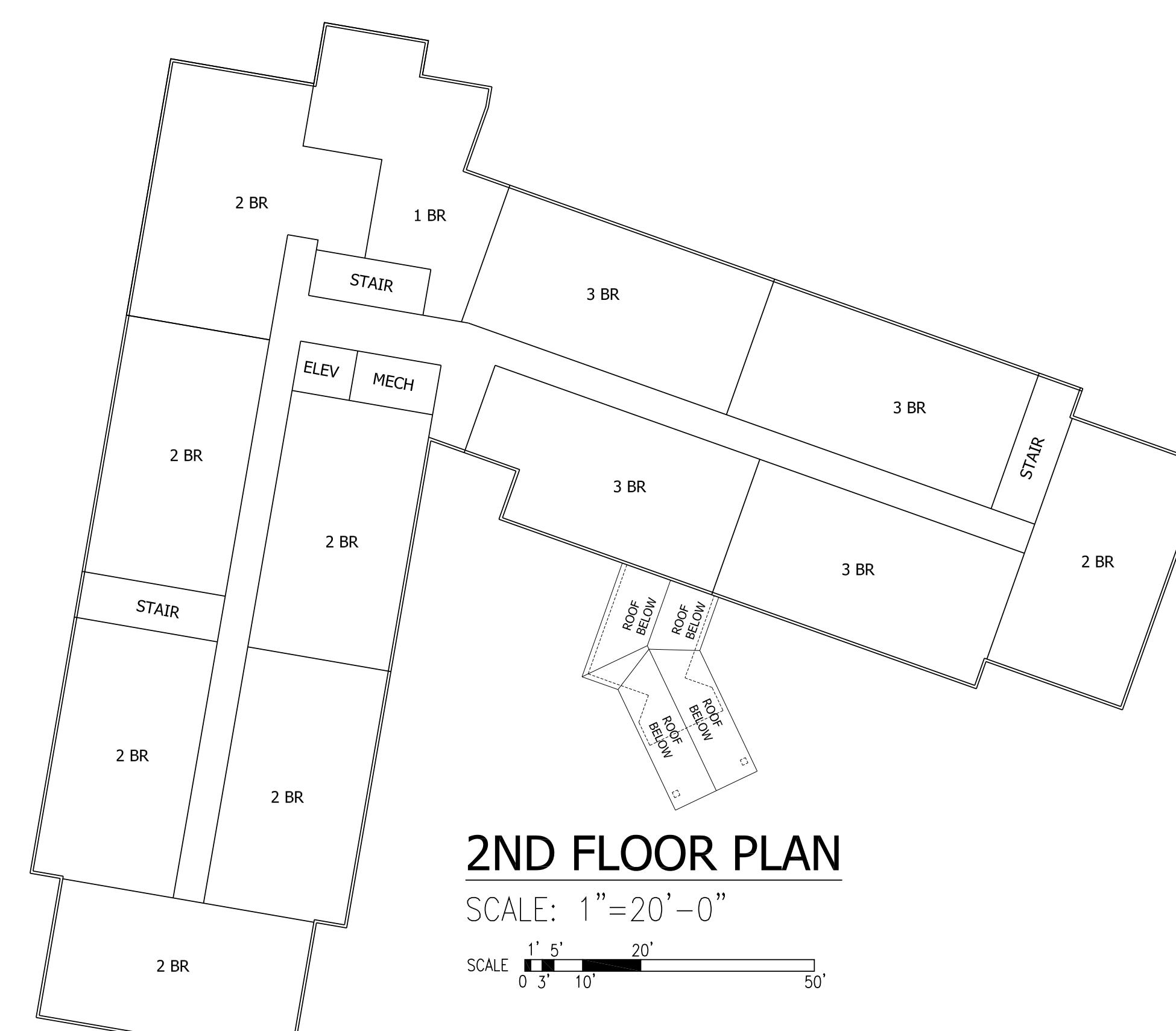
Sheet No.  
**C8**  
of: **23**



## 3RD FLOOR PLA

SCALE: 1"=20'

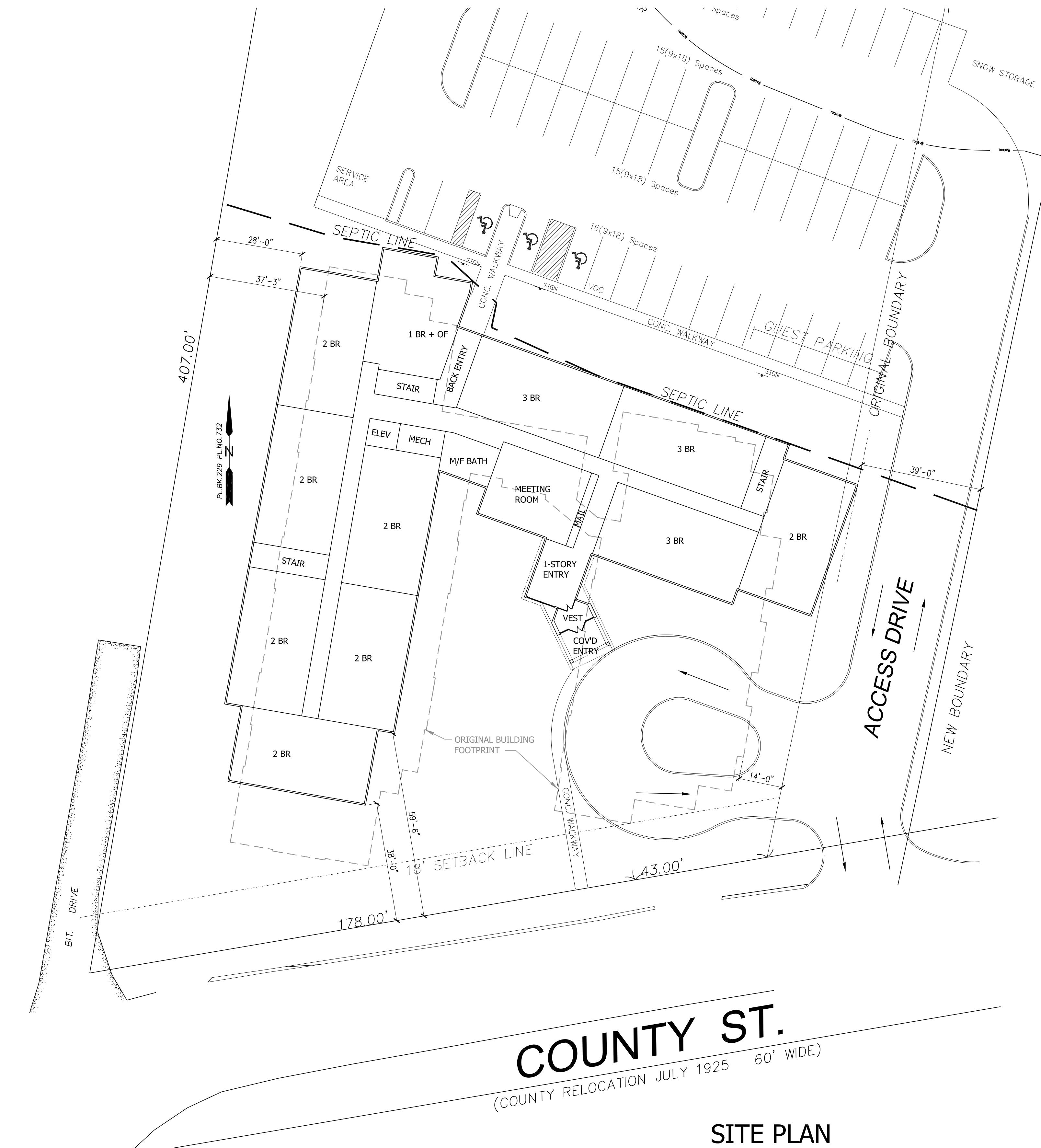
A scale bar diagram with a horizontal line. Above the line are the labels '1'', '5'', and '20''. Below the line are the labels '0', '3'', and '10''. The segments between the labels are divided into smaller, unlabeled increments.



## 2ND FLOOR PLA

SCALE: 1"=20'-

SCALE 1' 5' 20'  
0 3' 10'



# COUNTY ST.

(COUNTY RELOCATION JULY 1923

# SITE PLAN

SCALE: 1"=20'-0"

## *ORIGINAL PROPOSAL*

ORIGINAL FLOOR PLAN

1 -BR (9 QTY) BDRM QTY = 9  
2 -BR (24 QTY) BDRM QTY = 48  
3 -BR (6 QTY) BDRM QTY = 18

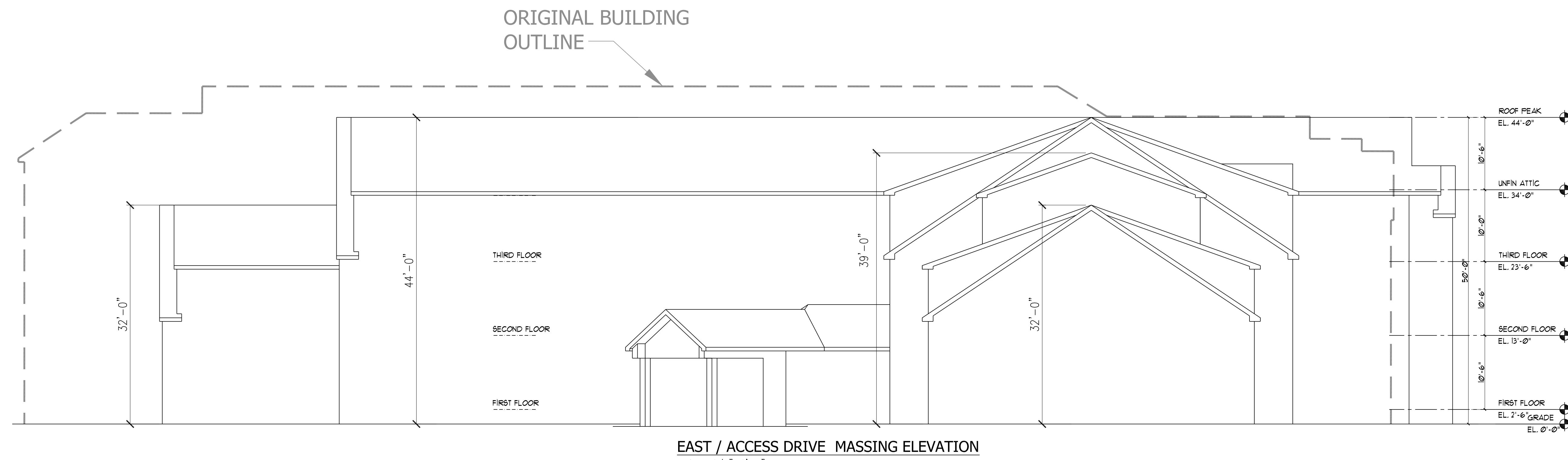
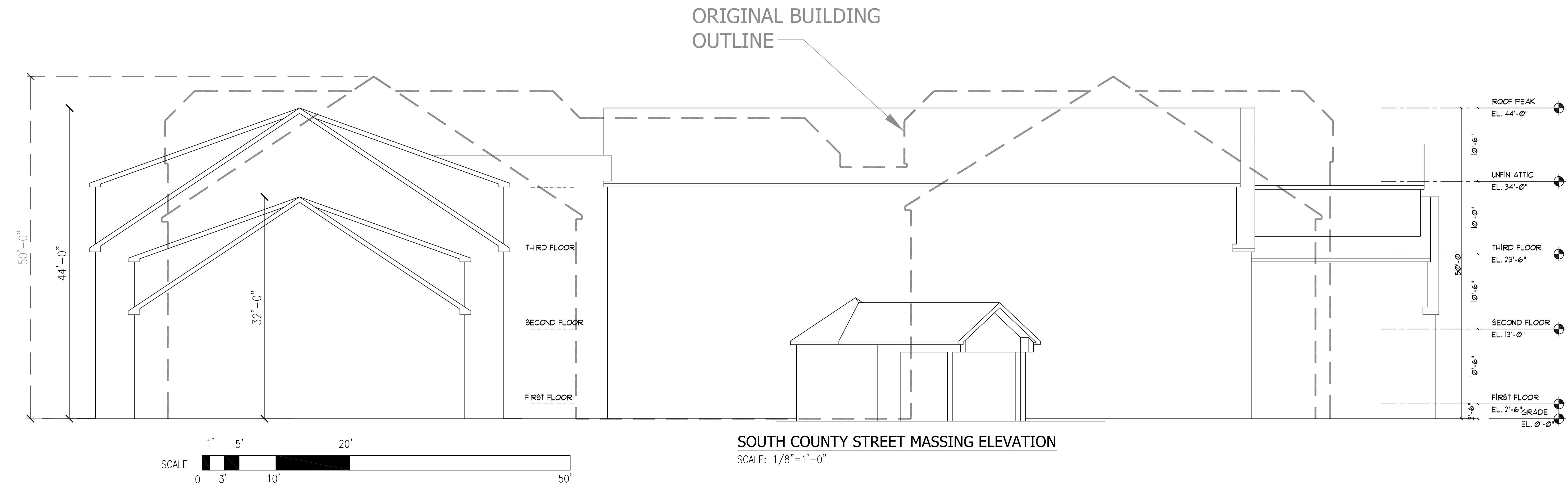
## *NEW PROPOSAL*

## UNIT & BEDROOM INFO BY FLOOR

**1ST FLOOR 1-BR (1 QTY), 2-BR (7 QTY), 3-BR (3 QTY)**  
**2ND FLOOR 1-BR (1 QTY), 2-BR (7 QTY), 3-BR (4 QTY)**  
**3RD FLOOR 1-BR (3 QTY), 2-BR (3 QTY), 3-BR (5 QTY)**

1-BR (5 QTY) 2-BR (17 QTY) 3-BR (12 QTY)

1-BR (6 & 7), 2-BR (8 & 9), 3-BR (12 & 13)



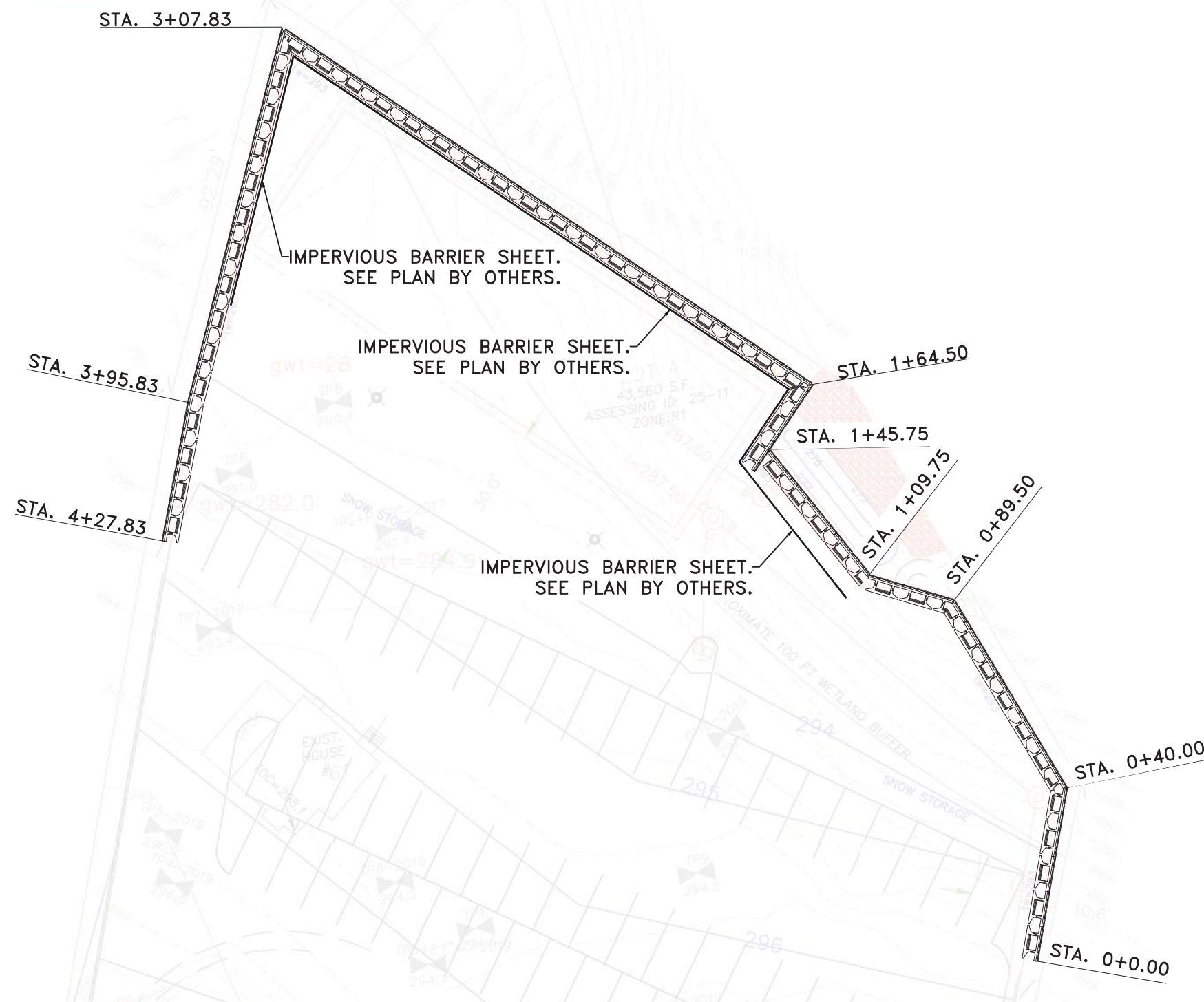
Design & Drafting services performed by:  
***Signature Design***  
**ARCHITECTURE**  
73 Bishop Road, Sharon, MA 02067

---

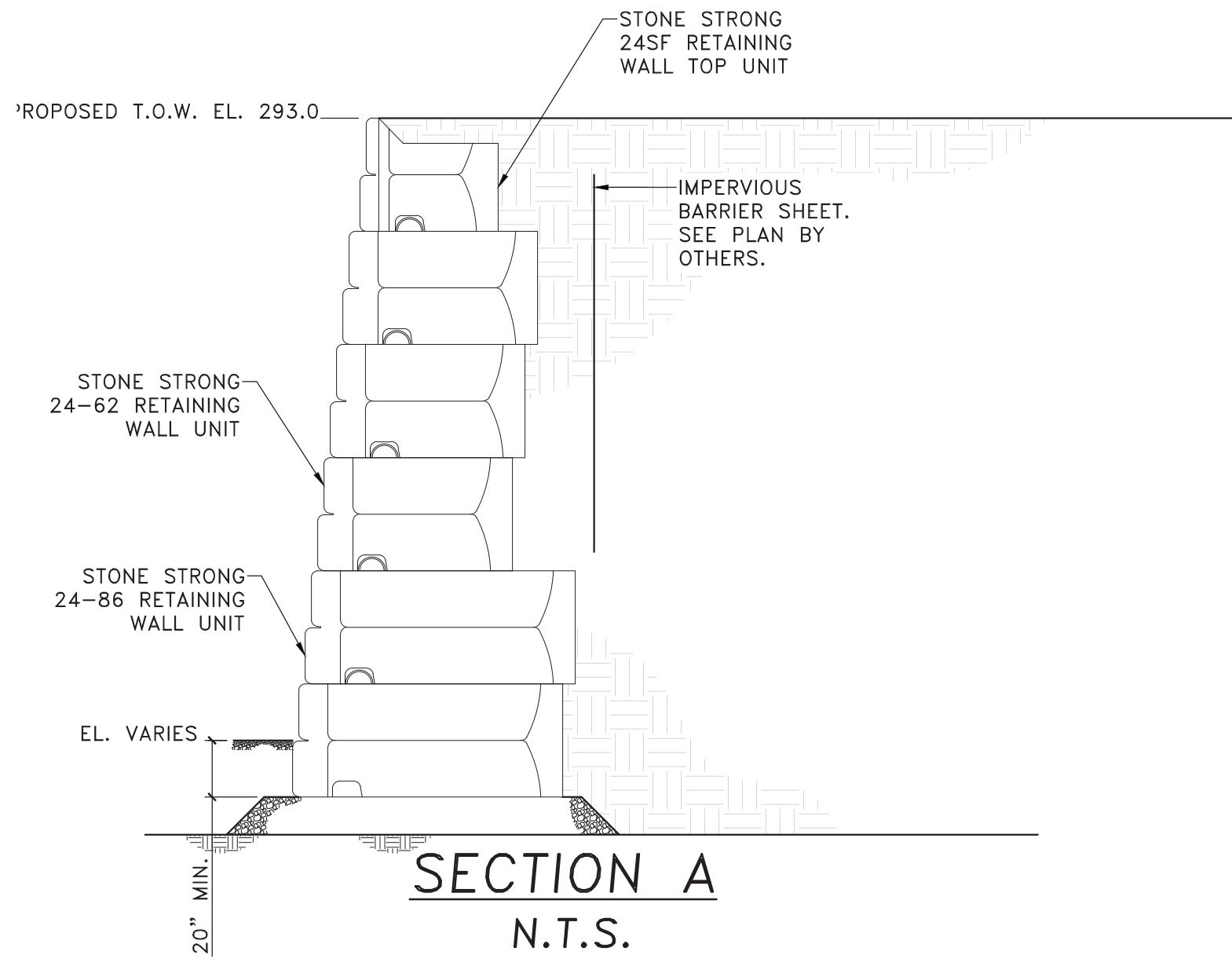
## 5 ELEVATIONS IN PASTURES STREET, DOVER, MA

Sheet No.  
**A5.1**  
Of: **23**

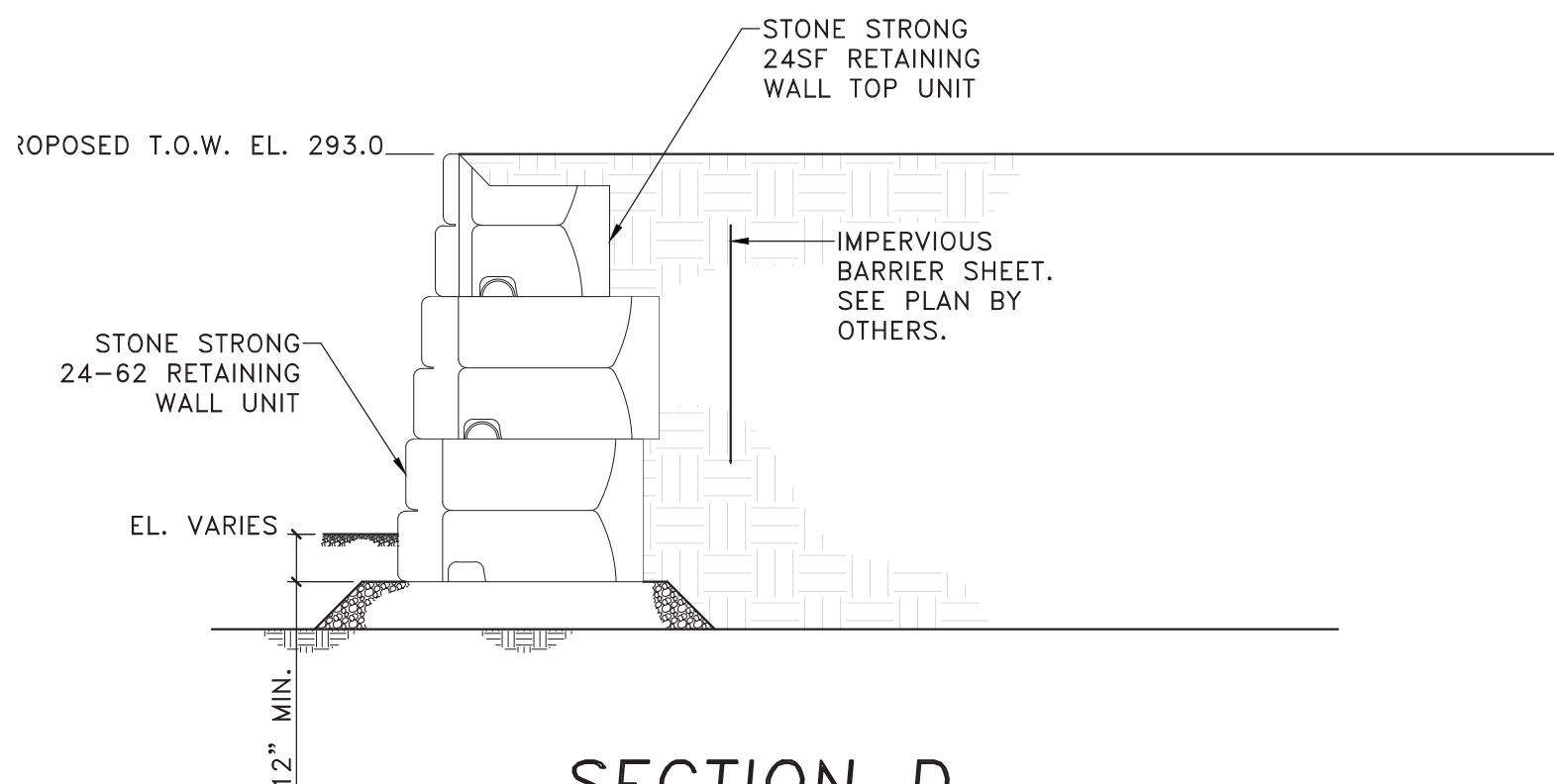
Designer/Drafter  
HB  
Scale  
AS NOTED  
Date  
06/14/21



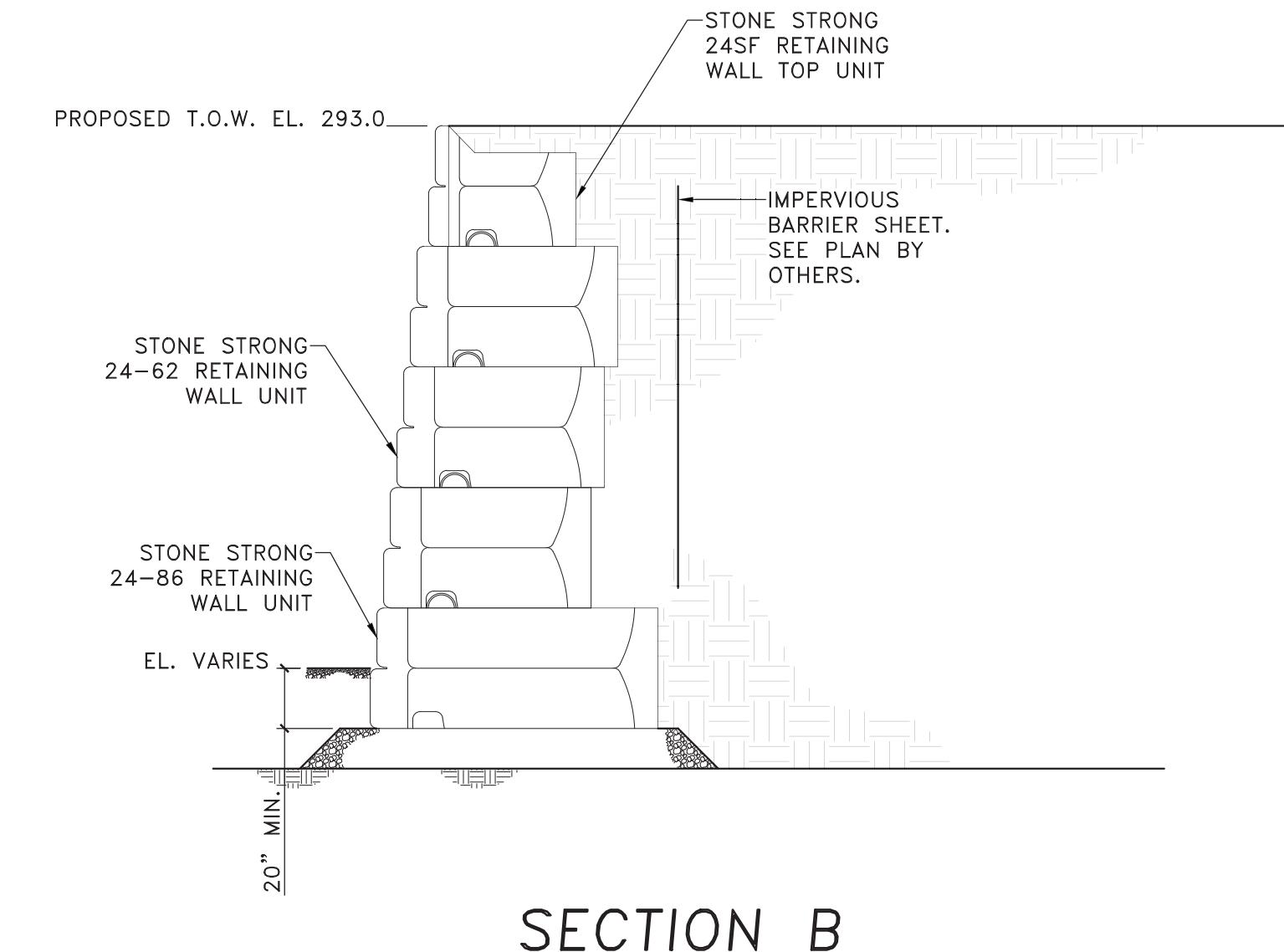
PLAN VIEW  
1" = 30'-0"



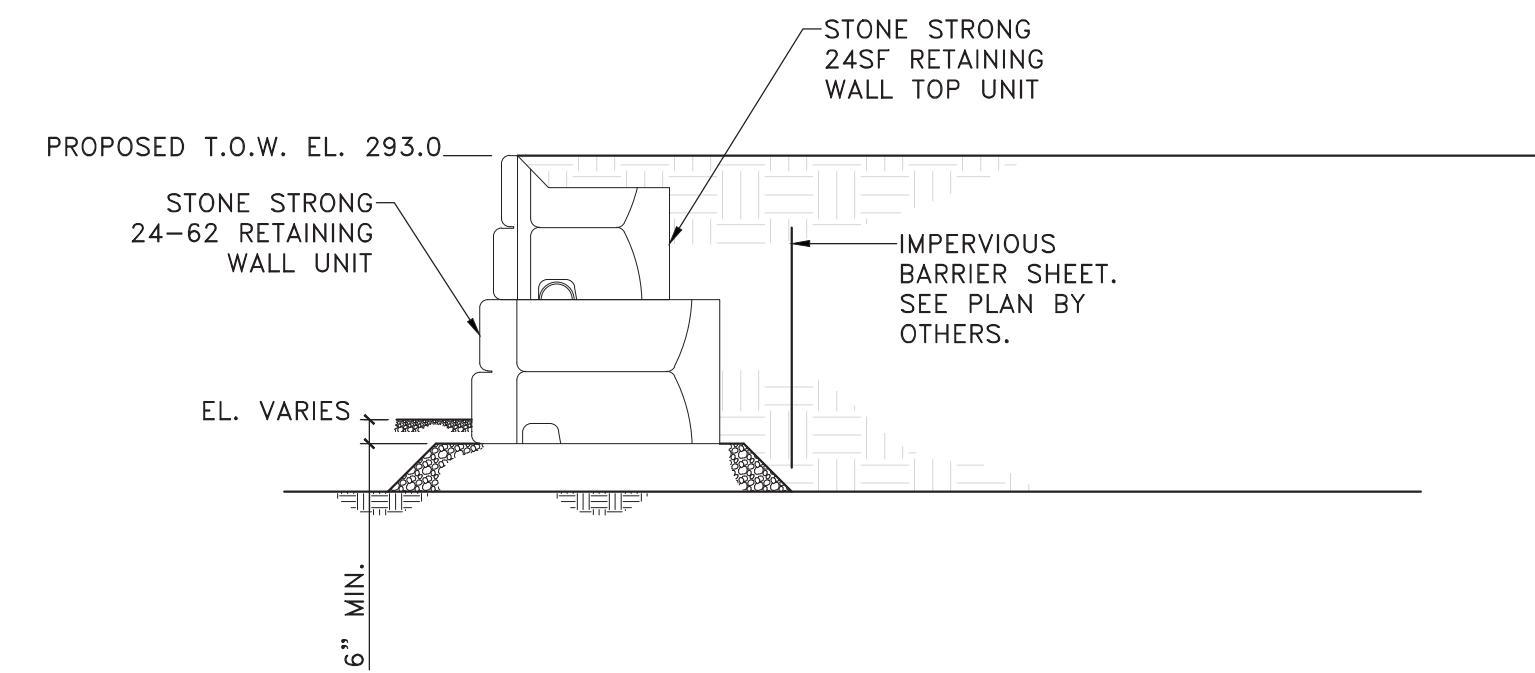
SECTION A  
N.T.S.



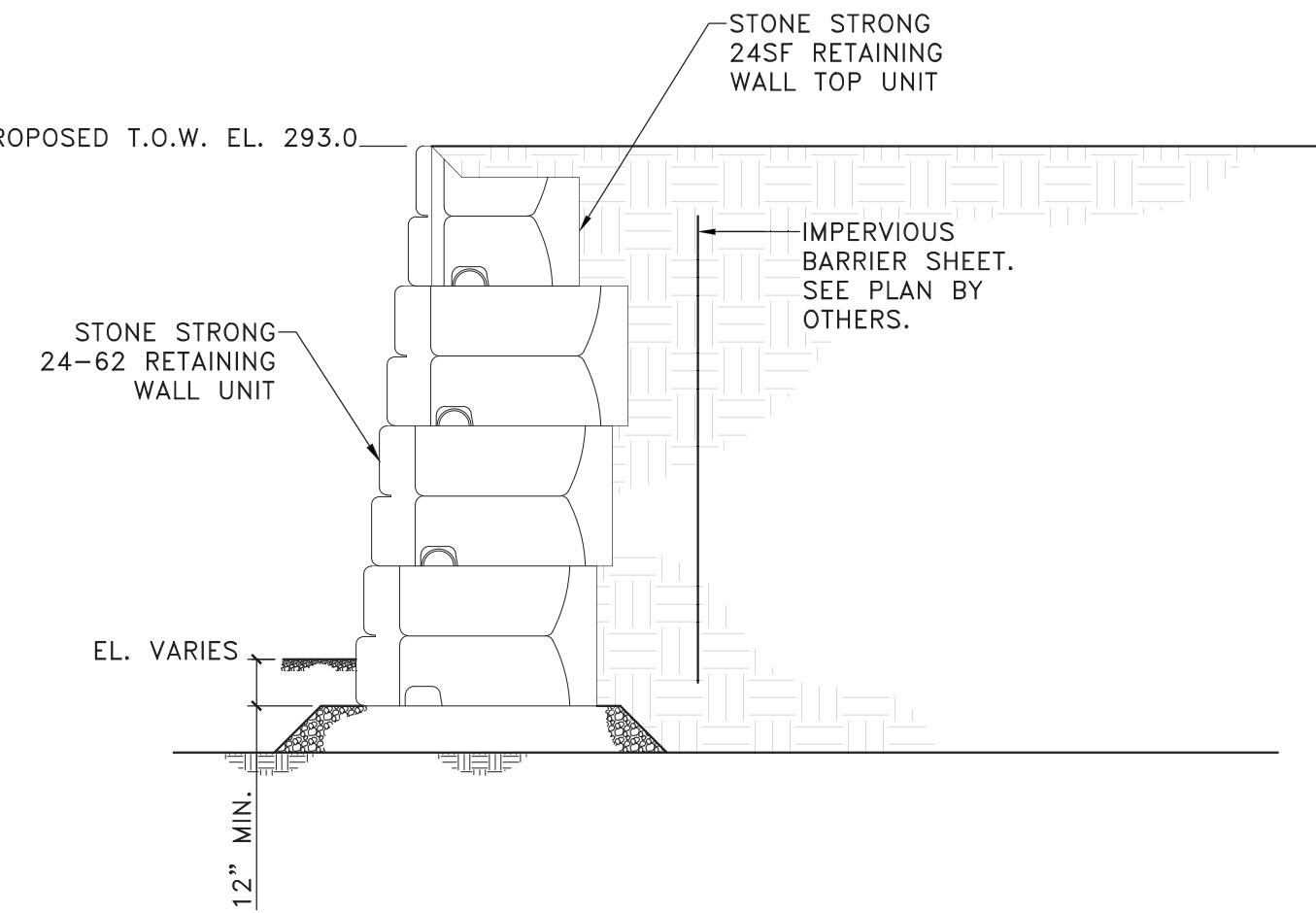
SECTION D  
N.T.S.



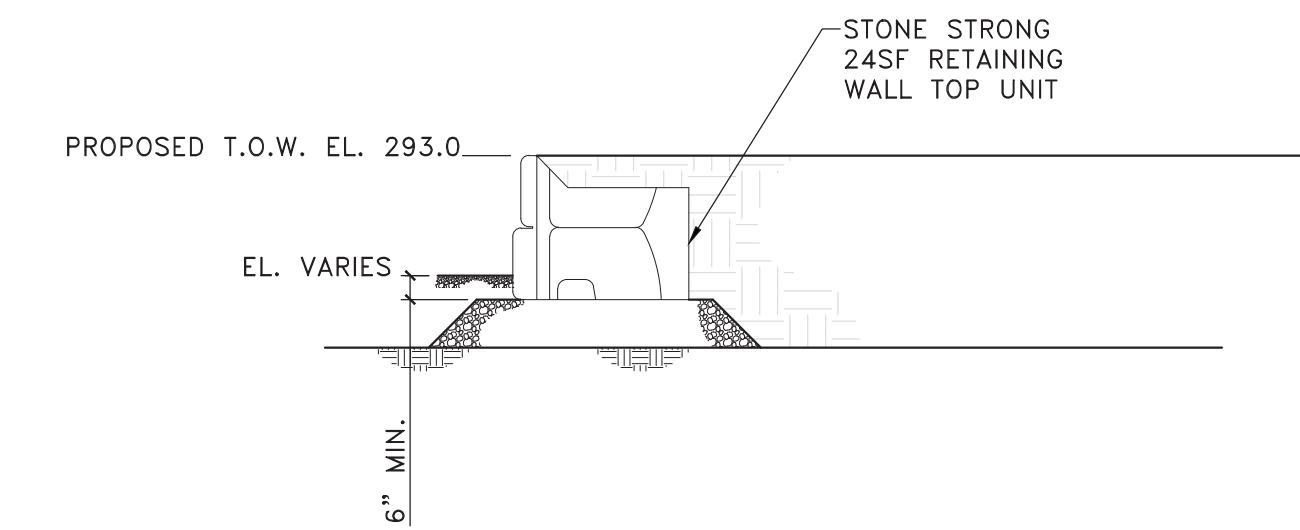
SECTION B  
N.T.S.



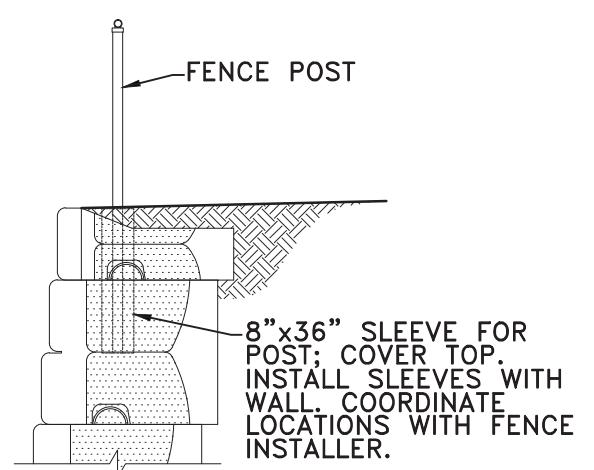
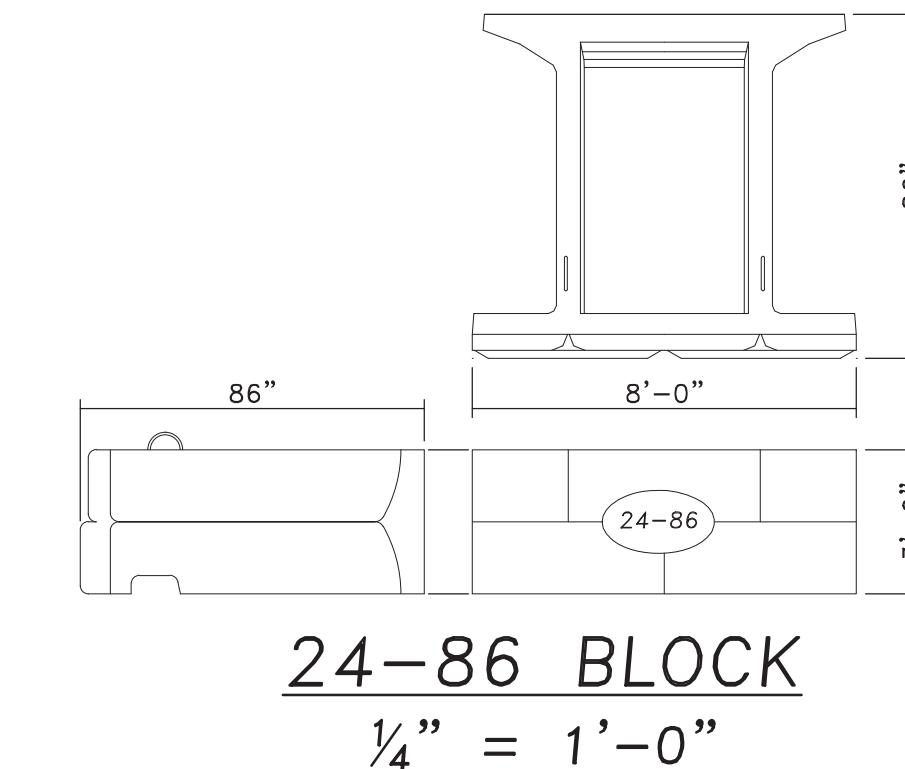
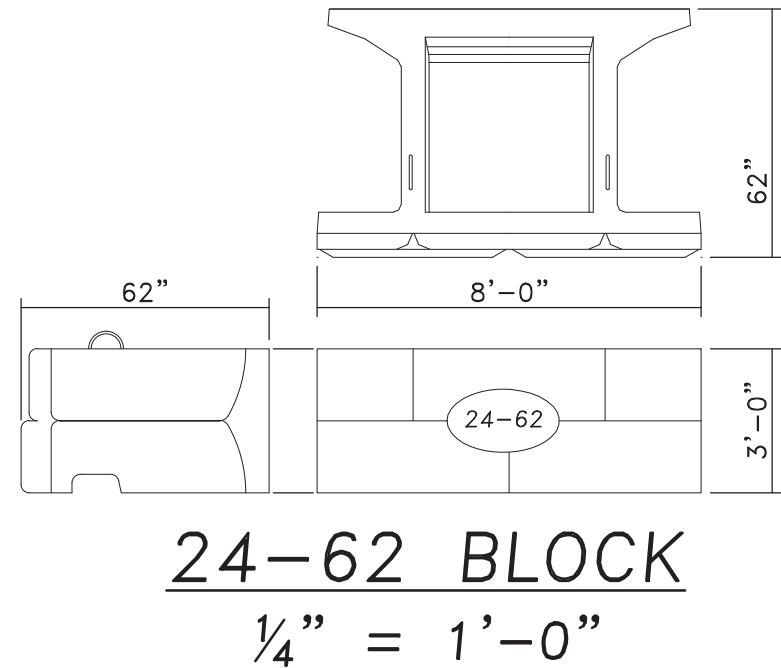
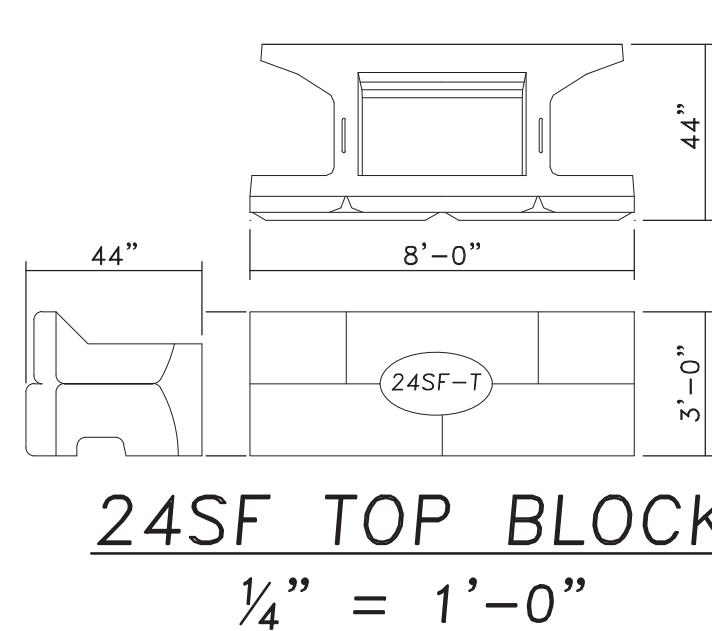
SECTION E  
N.T.S.



SECTION C  
N.T.S.



SECTION F  
N.T.S.



FENCE SLEEVE TYPICAL  
1/4" = 1'-0"

GENERAL NOTES  
THIS DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH THE NATIONAL CONCRETE MASONRY ASSOCIATION DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS (SRW), SECOND EDITION.

VERIFY EXISTING AND PROPOSED SITE GRADING PRIOR TO COMMENCING CONSTRUCTION.

BASE PLAIN TAKEN FROM "PROPOSED CONDITIONS PLAN" DATED 09/12/20 PREPARED BY OTHERS.

THE LOCATION OF EXISTING OR PROPOSED UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE INSTALLATION OF ANY PORTION OF RETAINING WALL.

PROVIDE FIELD CONTROL OF ALL REINFORCED BACKFILL IN ACCORDANCE WITH SECTION 1804.3.3 OF THE MASSACHUSETTS STATE BUILDING CODE.

INSTALLATION NOTES:

EVALUATE ALL SLOPES IN THE FIELD BY A COMPETENT PERSON PER OSHA REQUIREMENTS. PREVENT DISTURBANCE OF ALL EXPOSED SLOPES AND BENCHES. COVER EXPOSED SLOPES WITH TAUPAULINS OR OTHER SIMILAR COVERINGS TO PREVENT EROSION OR WEATHERINGS.

EXCAVATE AND LEVEL THE SUBGRADE OF WALL AND REINFORCED OR INFILL SOIL ZONE. VERIFY THE CAPACITY OF THE SUBGRADE TO SUPPORT THE WALL. PREPARE SUBGRADE AT WALL AS NEEDED TO CONFORM WITH THE MINIMUM SUBGRADE DESIGN REQUIREMENTS.

INSTALL COMPACTED BASE. BASE MUST EXTEND 6-INCHES (MIN.) IN FRONT, 6-INCHES (MIN) BEHIND, AND 12-INCHES (MIN) BELOW THE FIRST COURSE OF UNITS.

SEE WALL SECTIONS FOR MINIMUM EMBEDMENT REQUIREMENTS. JOINTS BETWEEN ADJACENT UNITS SHOULD ALIGN WITH THE MIDDLE OF THE UNIT ABOVE TO CREATE A RUNNING BOND.

PLACE SEGMENTAL CONCRETE BLOCK UNITS TO THE LIMITS SHOWN ON THIS DRAWING AND IN ACCORDANCE WITH NOTES. INFILL SOIL WITHIN THE REINFORCED ZONE MUST MEET THE GRADATION REQUIREMENTS CONTAINED ON THIS DRAWING. COMPACT ALL INFILL SOIL WITHIN THE REINFORCED ZONE TO AT LEAST 95% DENSITY AS DETERMINED BY ASTM D1557.

CONSTRUCT WALL WITH 2 INCH SET BACK PER 3'-0" COURSE IN SECTIONS SHOWN ON THESE DRAWINGS.

CONCRETE:

ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318) AND THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE. IN CASE OF CONFLICT, THE STATE BUILDING CODE SHALL GOVERN.

ALL CONCRETE SHALL BE CONTROLLED CONCRETE, MIXED AND PLACED UNDER THE SUPERVISION OF AN APPROVED CONCRETE TESTING AGENCY.

CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH SAND AND GRAVEL AGGREGATE, TYPE I OR TYPE II PORTLAND CEMENT HAVING A MINIMUM COMPRESSIVE STRENGTH (f'c) IN 28 DAYS OF 4000 PSI.

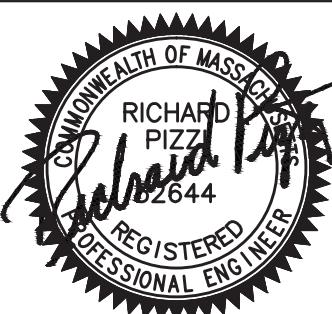
ALL CONCRETE SHALL BE AIR ENTRAINED 6% ( $\pm 1\%$ ).

CONCRETE CAST ON SLOPED SURFACES SHALL BEGIN AT THE LOWEST ELEVATION AND CONTINUE MONOLITHICALLY TOWARD THE HIGHER ELEVATIONS UNTIL THE INTENDED POUR IS COMPLETED.

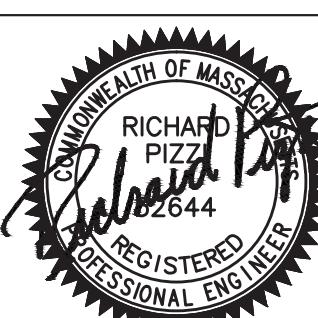
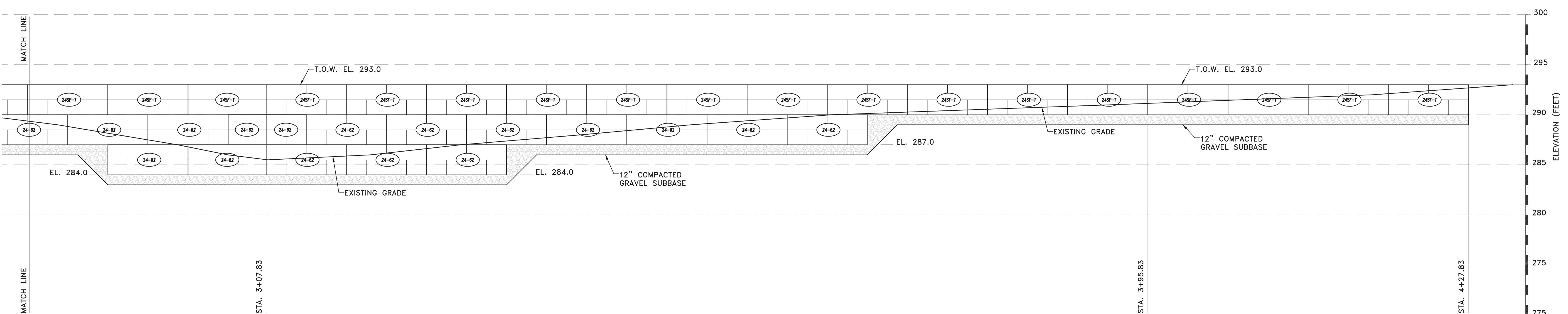
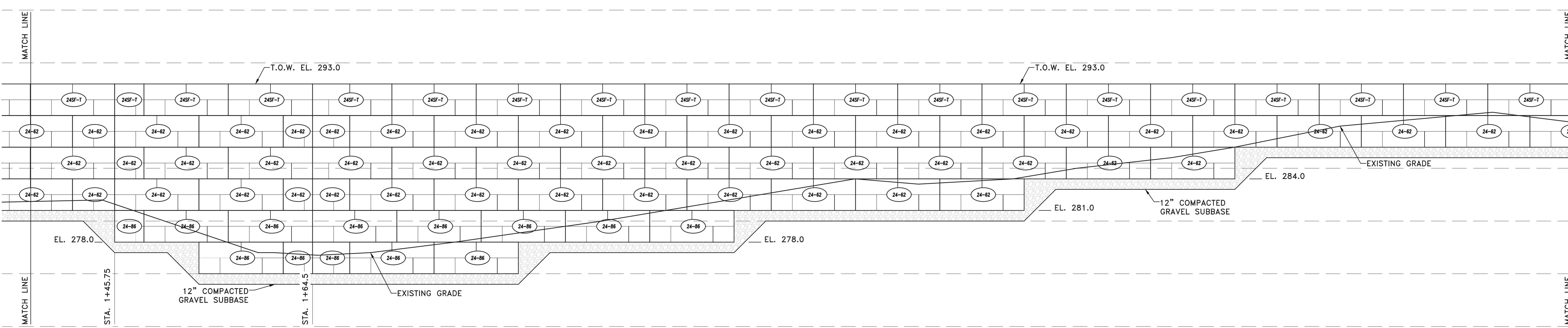
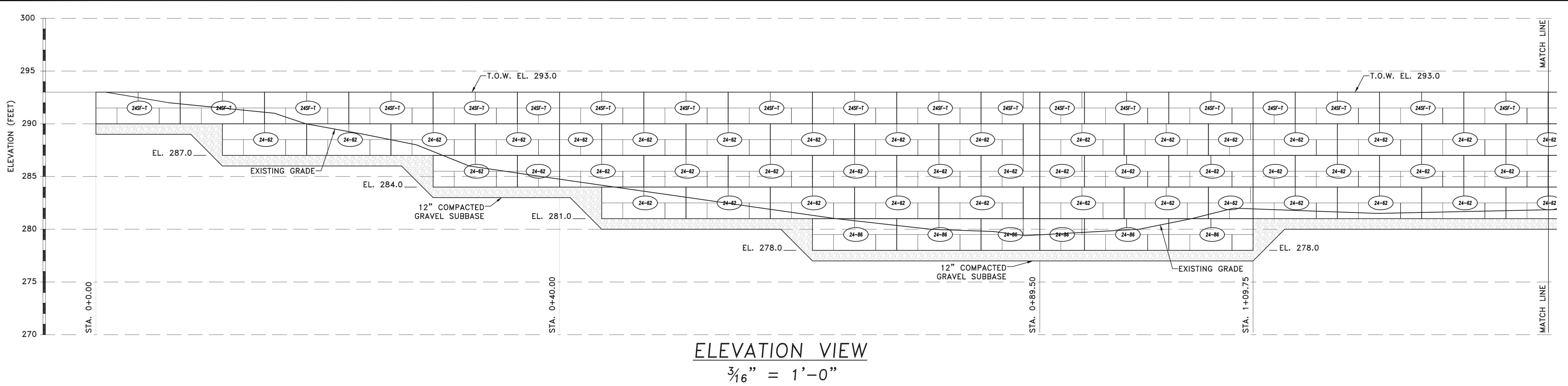
REINFORCING:

ALL CONCRETE REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 EXCEPT WHERE NOTED. ALL REINFORCING BARS TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCING BARS MAY NOT BE WELDED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

DETAILED OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI 315 - "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," LATEST EDITION.



0	Issue	12-24-2020
No.	Revision	Date



0	Issue	12-24-20
No.	Part No.	Part No.

# RETAINING WALL SECTIONS AND ELEVATIONS

63 County Road  
Dover, Massachusetts

THESE CADD DOCUMENTS ARE RECORDED ON, OR CAN BE TRANSMITTED ON ELECTRONIC MEDIA. THEY THEREFORE MAYBE SUBJECT TO UNDETECTABLE ALTERATION OR ERASURE, EITHER INTENTIONAL OR UNINTENTIONAL, INCLUDING, BUT NOT LIMITED TO, AMONG OTHER CAUSES: TRANSMISSION, CONVERSION, MEDIA DEGRADATION, SOFTWARE ERROR, OR HUMAN ALTERATION. ACCORDINGLY, GEOTECHNICAL CONSULTANTS, INC., SHALL NOT BE HELD LIABLE FOR CLAIMS, LOSSES, DAMAGES, OR COST ARISING OUT OF ANY SUCH ALTERATION OR UNAUTHORIZED RE-USE OR MODIFICATION OF THESE DOCUMENTS. GEOTECHNICAL CONSULTANTS, INC. WILL BE ENTITLED TO FURTHER COMPENSATION FOR ANY FUTURE USE OF THE INFORMATION REPRESENTED ON THIS DOCUMENT BEYOND ITS IMMEDIATE PURPOSE.

<b>GCI # 2204961</b>	
4 DEC 2020	Drawn By J
AS NOTED	

Sheet No. **RW2**