

RED ROBIN PASTURES

DOVER, MASSACHUSETTS

LIST OF DRAWINGS

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CONSULTANTS LEGEND

OWNER/ DEVELOPER:

RED ROBIN PASTURES, LLC.
1218 GREAT PLAIN AVE.
NEEDHAM, MA 02492
Phone: 617 602-8153
Attention: PAUL McGOVERN
paul@pgcminc.com

DEVELOPMENT CONSULTANTS:

SEB, LLC / Strategic Land Ventures, LLC
251 HILLSIDE AVENUE
NEEDHAM, MA 02494
Phone: 617 182-2300 x202
Attention: GEOFF ENGLER
gengler@s-e-b.com

CIVIL ENGINEER:

RONALD TIBIERI, PE
9 MASSACHUSETTS AVENUE
NATICK, MA 01760
Phone: 617 592-6122

ARCHITECT:

SIGNATURE DESIGNS-ARCHITECTURE
13 BISHOP ROAD
SHARON, MA 02067
Phone: 781 806-0063
Attention: Henry Bobek, RA
bobekha@aol.com

STRUCTURAL ENGINEERING:

THE DEMPSEY GROUP
P.O. BOX 927
HARWICH, MA 02661
Phone: 508 326-5498
Attention: Richard Dempsey, PE
tdgstructural@comcast.net

M/E/P & FIRE PROTECTION
ENGINEER:

WOZNY/ BABAR & ASSOC., INC.
1076 WASHINGTON STREET
HANOVER, MA 02860
Phone: 781 826-4144
Attention: ZBIGNIEW WOZNY, PE
zwozny@wbaengineers.com

SURVEYOR:

CHENEY ENGINEERING CO., INC.
153 MELLE STREET
NEEDHAM, MA 02494
Phone: 781 444-2188
Attention: Ardi Rapi
ardirapi@cheney-eng.com

GEOTECHNICAL CONSULTANTS:

GEOTECHNICAL CONSULTANTS, INC.
201 BOSTON POST ROAD WEST
MARLBOROUGH, MA 01752
Phone: 508 229-0900
info@geotechnical.us

TRANSPORTATION CONSULTANT:

VANASSE & ASSOCIATES INC.
35 NEW ENGLAND BUSINESS CENTER DR
SUITE 140
ANDOVER, MA 01810
Phone: 978 269-6830
Attention: Jeffrey S. Dirk PE PTOE FITE

LANDSCAPE & LIGHTING CONSULTANT:

GREEN BEAN DESIGN, INC.
SALEM MA

FOR REGISTRY USE

I CERTIFY THAT THIS PLAN HAS BEEN PERPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE _____ RONALD TIBERI P.E. _____

I, _____, Clerk of the Town of Medway,
received and recorded approval from the Planning and Economic Development Board
of this plan and its corresponding decision on _____
and no appeal was taken for twenty (20) days, thereafter.

(Signature) _____ (Date)

This project is subject to a performance security covenant to be recorded herewith.

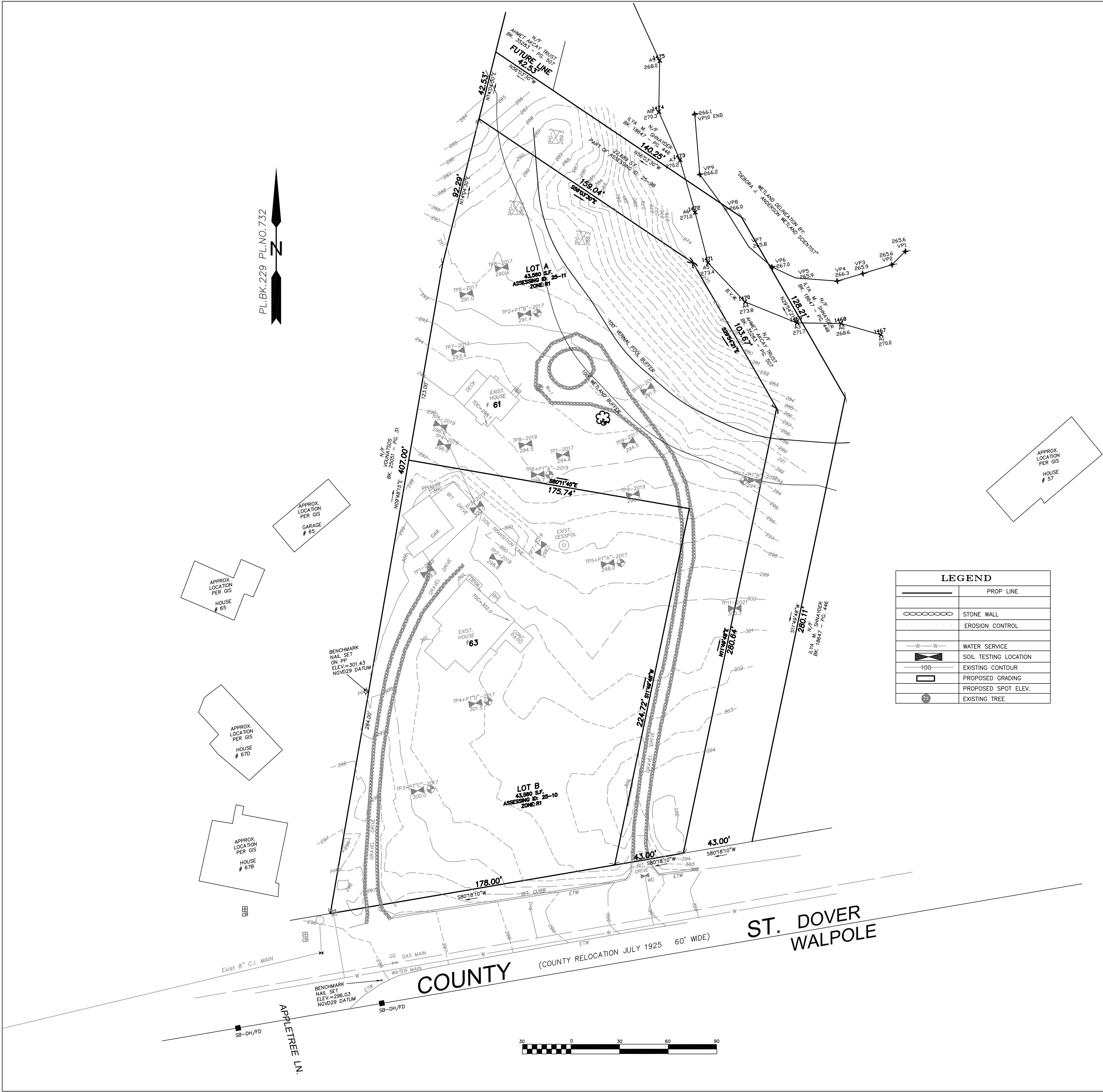
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06/14/21

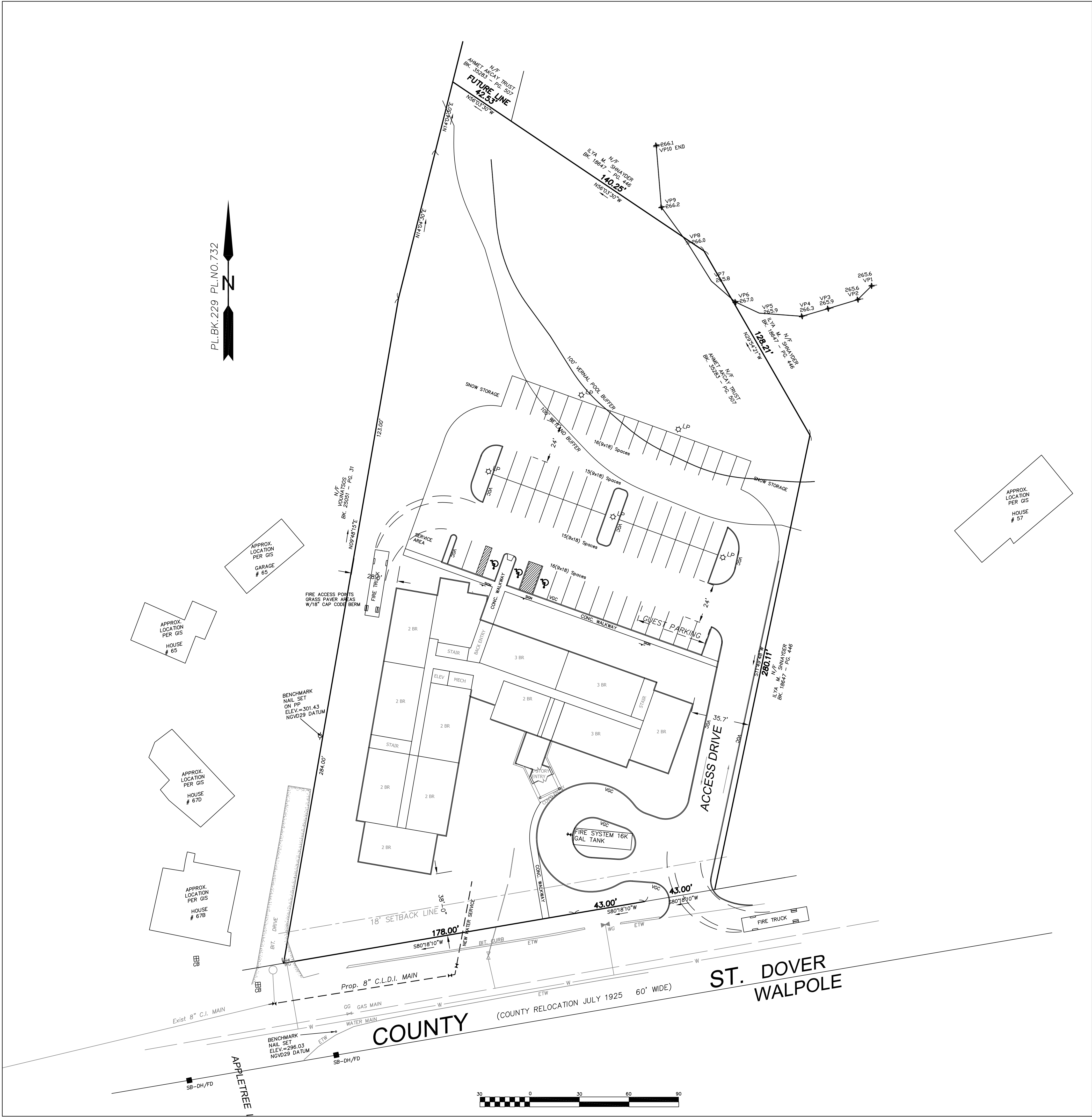
TITLE SHEET
RED ROBIN PASTURES
COUNTY STREET, DOVER, MA

Signature Designs
ARCHITECTURE

73 Bishop Road, Sharon, MA 02067 781 806-0063

Sheet No. **1.0**
of **23**





LEGEND	
	PROP LINE
	STONE WALL
	EROSION CONTROL
	WATER SERVICE
	SOIL TESTING LOCATION
	EXISTING CONTOUR
	PROPOSED GRADING
	PROPOSED SPOT ELEV.
	EXISTING TREE

Drawing Description

SITE LAYOUT AND DETAILS

RED ROBIN PASTURES

COUNTY STREET, DOVER, MA

Design & Drafting services performed by:

ARCHITECTURE

73 Bishop Road, Sharon, MA 02067 781 886-0065

Sheet No.

C2

OF 23

Designer/Draftsman

Scale

Date

Rev. #

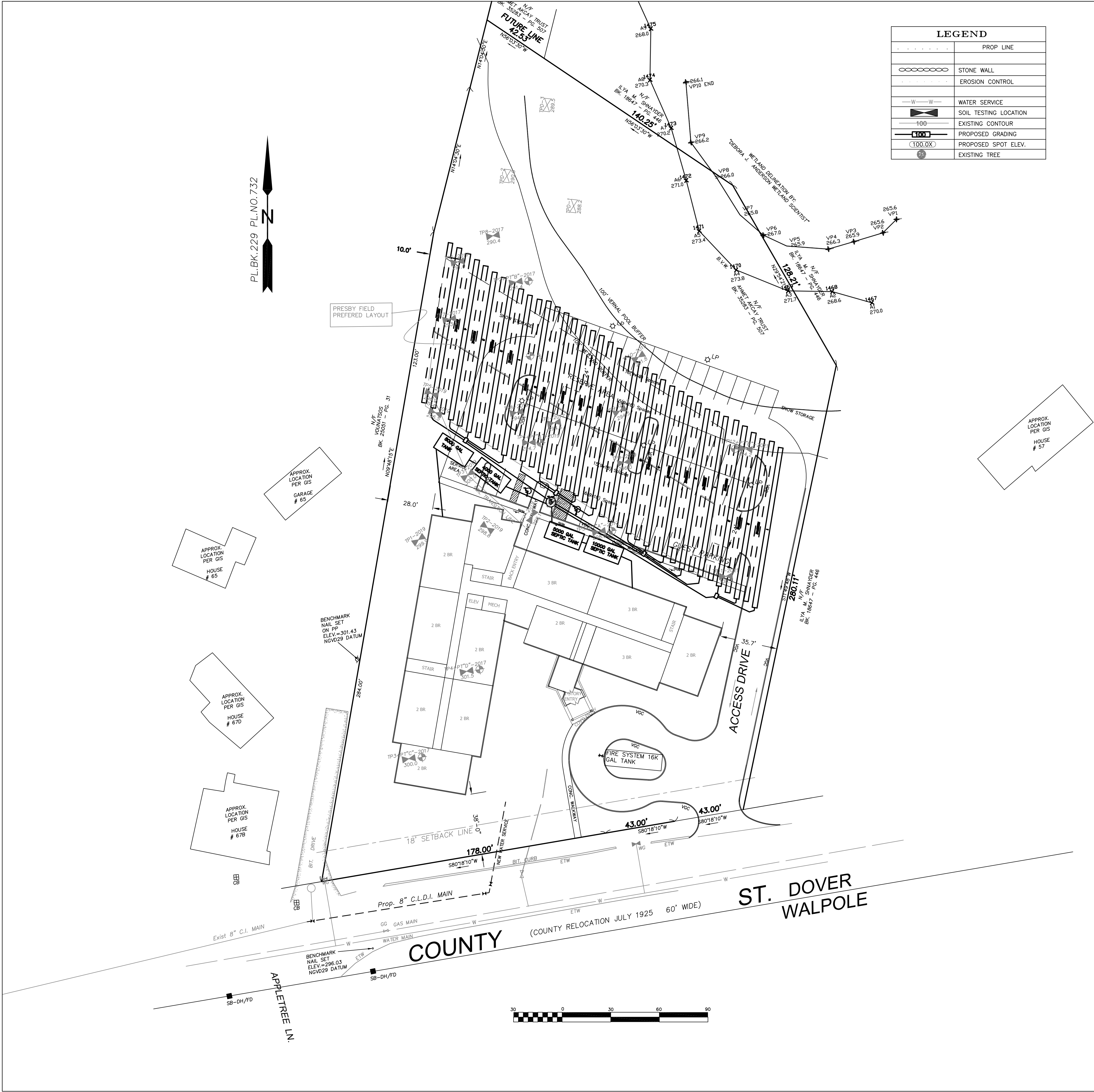
Date

1

AS NOTED

12/18/20

06/14/21



NOTES & SPECIFICATIONS

1. All work shall be in accordance with NPDES permit and Spill Prevention Plans
2. Pipe and fittings shall be Schedule 40 PVC (polyvinyl chloride) manufactured in accordance with the latest requirements of ASTM D3034. Joints shall be solvent welded type (tight joints). Pipe to be laid on firm compacted base.
3. Perforated pipe, when required, shall be schedule 40 PVC (ASTM D1785) for entire length of system. All joints shall be tight joint. Office dia. = 3/8" to 5/8".
4. Washed stone and other soil materials shall be in accordance with ASTM Standard
5. Fill Material shall be clean granular material with a percolation rate of 2 min./inch or less, be free of deleterious material, and properly compacted to minimize settlement, or allowed to settle for twelve months.
6. No changes shall be made in this plan without the authorization of the engineer, the Board of Health & Town Engineer.
7. Contractor must notify dig safe & the local water department prior to beginning excavation work.
8. Construction access is limited to the existing driveway. Prior approval and permitting from the Town of Dover Highway Department will be required for any area of disturbance within the right of way to obtain access or install any proposed system.
9. Notify Town of Dover Board of Health 3 days prior to start of construction.
10. Vehicular traffic over, parking of vehicles on, stockpiling of materials over, or storage of equipment on system shall not be allowed at any time.
11. Dewatering is required if fill is to be placed below ground water.
12. There are no industrial category or prohibited wastewaters are used currently at this site.
13. Fill shall not be placed during rain or snow storms.
14. 48 Hour notice for field inspection, call Town Engineer for schedule
15. Design Engineer to certify system installed & operating
16. Weekly or as needed inspections required
17. Decommission when practical

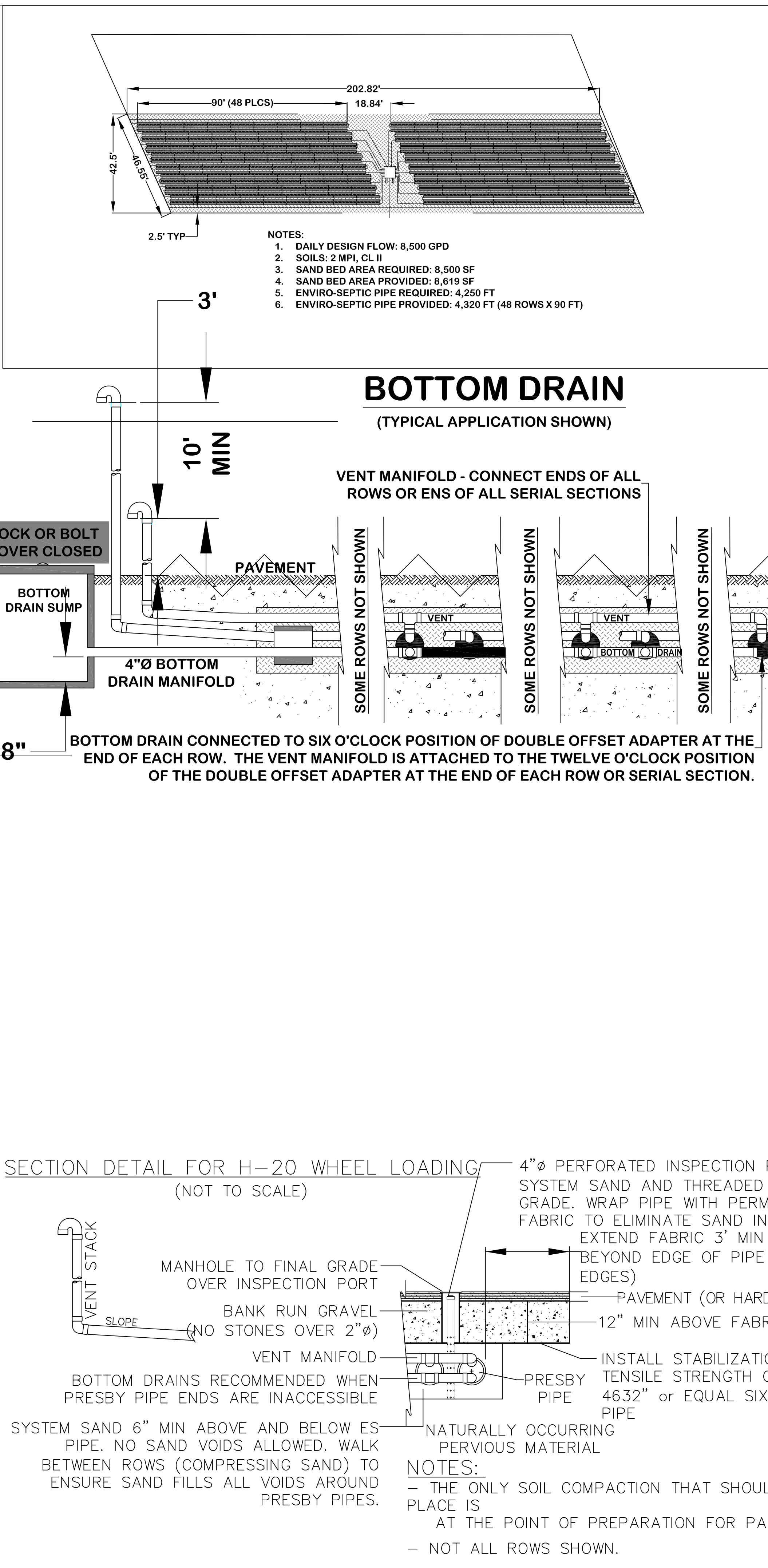
DIG SAFE NOTE:
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE. AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82, SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.

THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

LEACHING FACILITY DESIGN CRITERIA

TYPE OF BUILDINGS **MULTI FAMILY DWELLING**
OF BEDROOMS **75**
MIN. DAILY FLOW **8250 GPD**
PERC. DESIGN RATE **2 MIN./INCH**
SOIL CLASS **II**
PRESSURE SYSTEM
EFFLUENT LOADING RATE (GPD/SF) = **0.63**
CALCULATION:
REQUIRED AREA = 8250 GPD / 0.63GPD/SF=13085sf
Stone Trench Req'd = 13085 SF / 7 SF/LF = 1870LF
Stone Trenches = 19x100LF / 7 SF/LF = 113300SF Provided




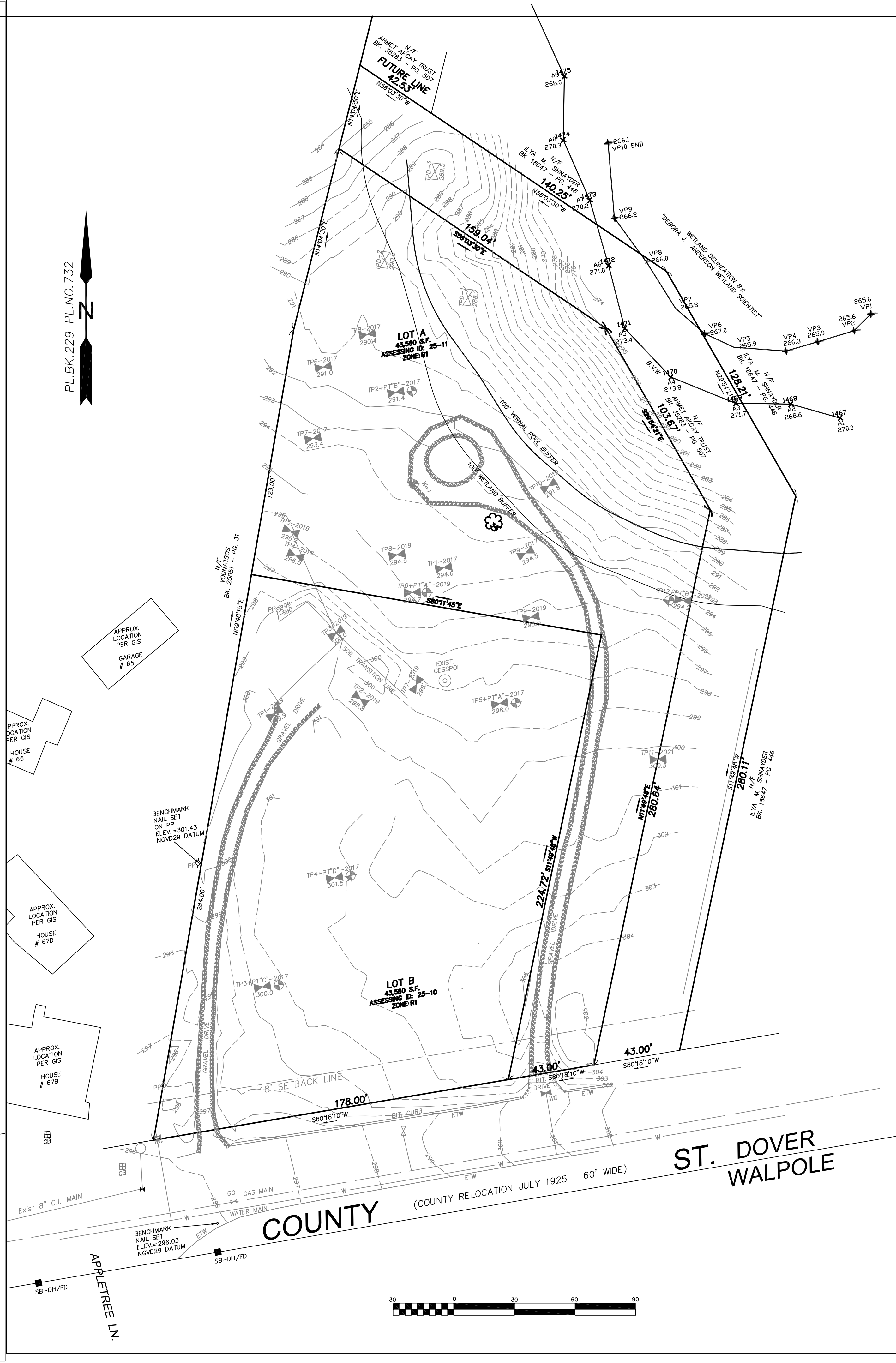
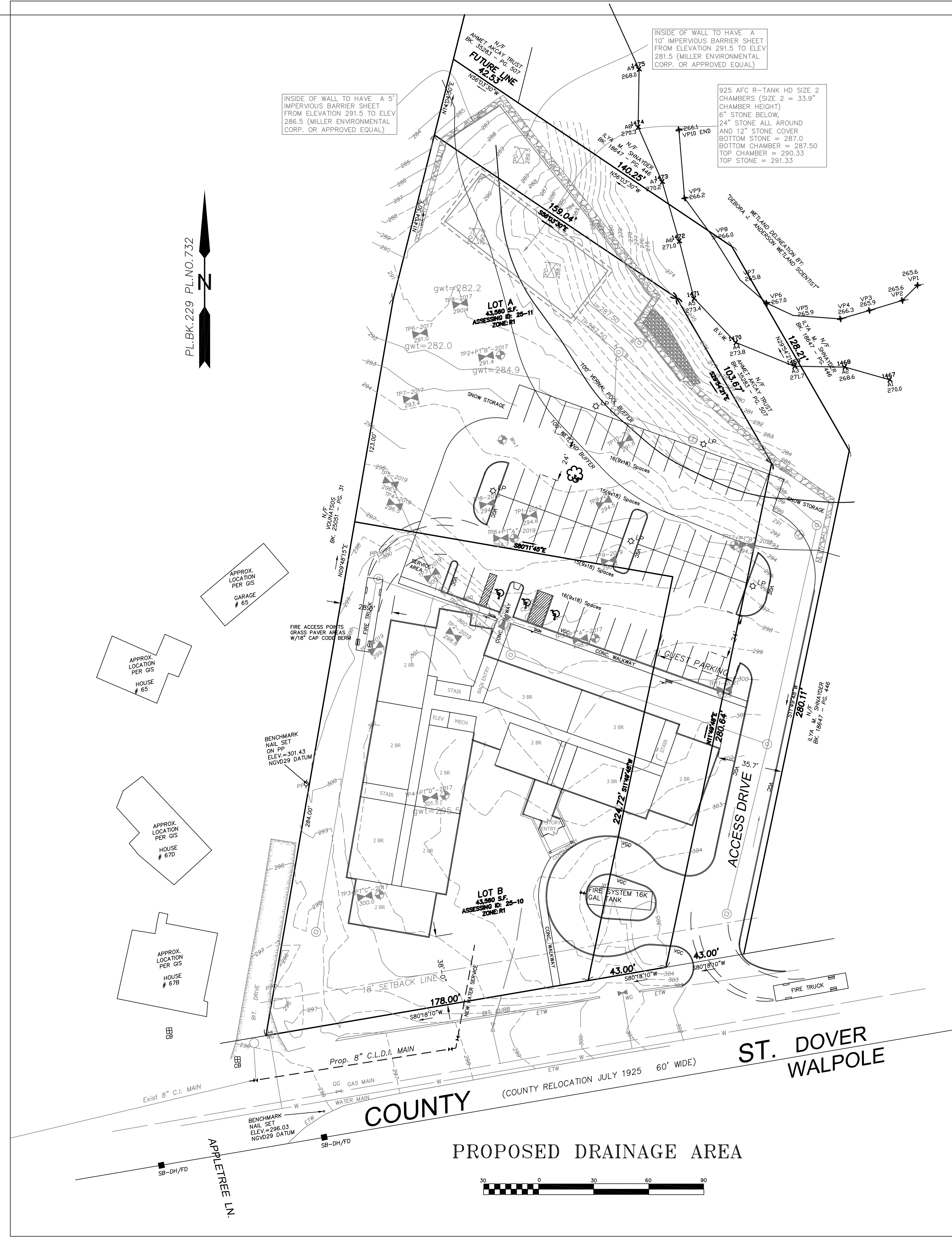
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3. Perforated, when required, shall be schedule 40 PVC (ASTM D1785) for entire length of system. All joints shall be tight joint. Offset dia=3/8" to 5/8".
4. Washed stone and other soil materials shall be in accordance with ASTM Standard
5. Fill Material shall be clean granular material with a percolation rate of 2 min./inch or less, be free of deleterious material, and properly compacted to minimize settlement, or allowed to settle for twelve months.
6. No charges shall be made in this plan without the authorization of the engineer, the Board of Health & Town Engineer.
7. Contractor must notify day, date & the local water department prior to beginning excavation work.
8. Construction access is limited to the existing driveway. Prior approval and permitting from the Town of Dover Highway Department will be required for any area of disturbance within the right of way to obtain access or install any proposed system.
9. Notify Town of Dover Board of Health 3 days prior to start of construction.
10. Vehicular traffic over, parking of vehicles on, stockpiling of materials over, or storage of equipment on system shall not be allowed at any time.
11. Dewatering is required if fill is to be placed below ground water.
12. There are no industrial category or prohibited wastewaters are used currently at this site.
13. Fill shall not be placed during rain or snow storms.
14. 48 hour notice for field inspection, call Town Engineer for schedule
15. Design Engineer to certify system installed & operating
16. 7 Weeks or as needed inspections required
17. Decommission when practical

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT (888)344-7233 {(888)DIG-SAFE}.

A circular sign with a black border. Inside the circle, there is a black silhouette of a shovel. A large black 'X' is superimposed over the shovel, indicating that digging is prohibited.



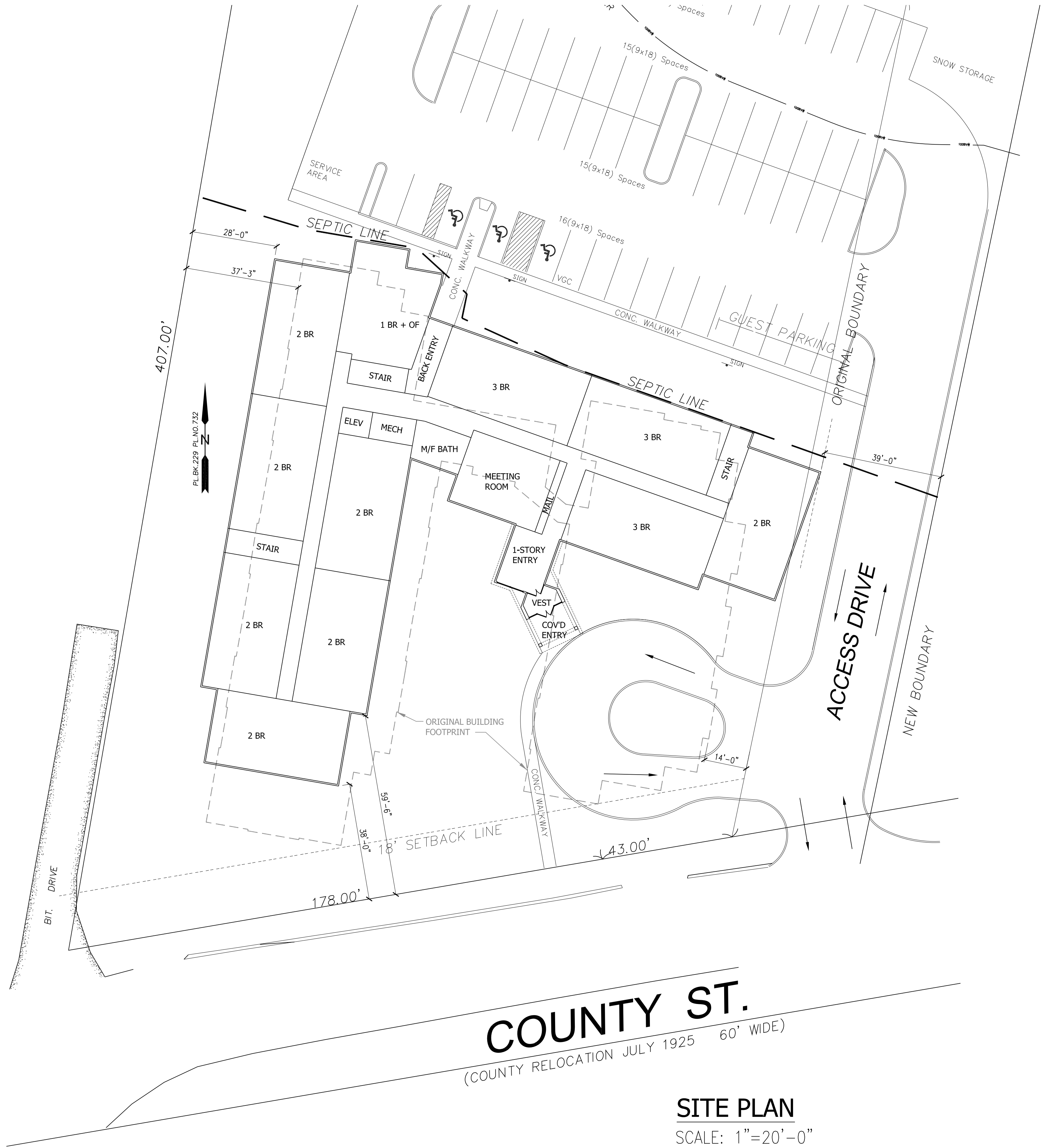
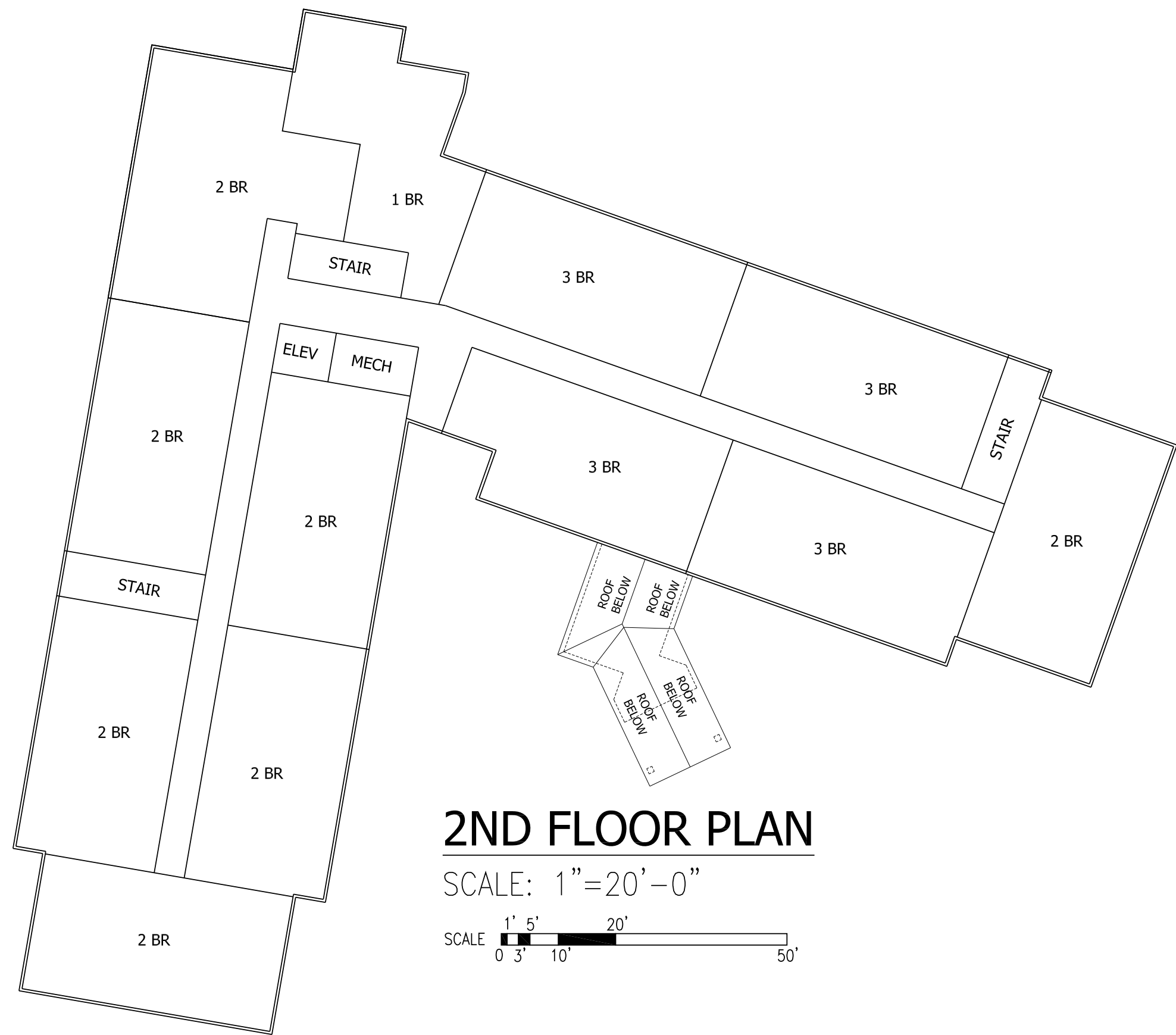
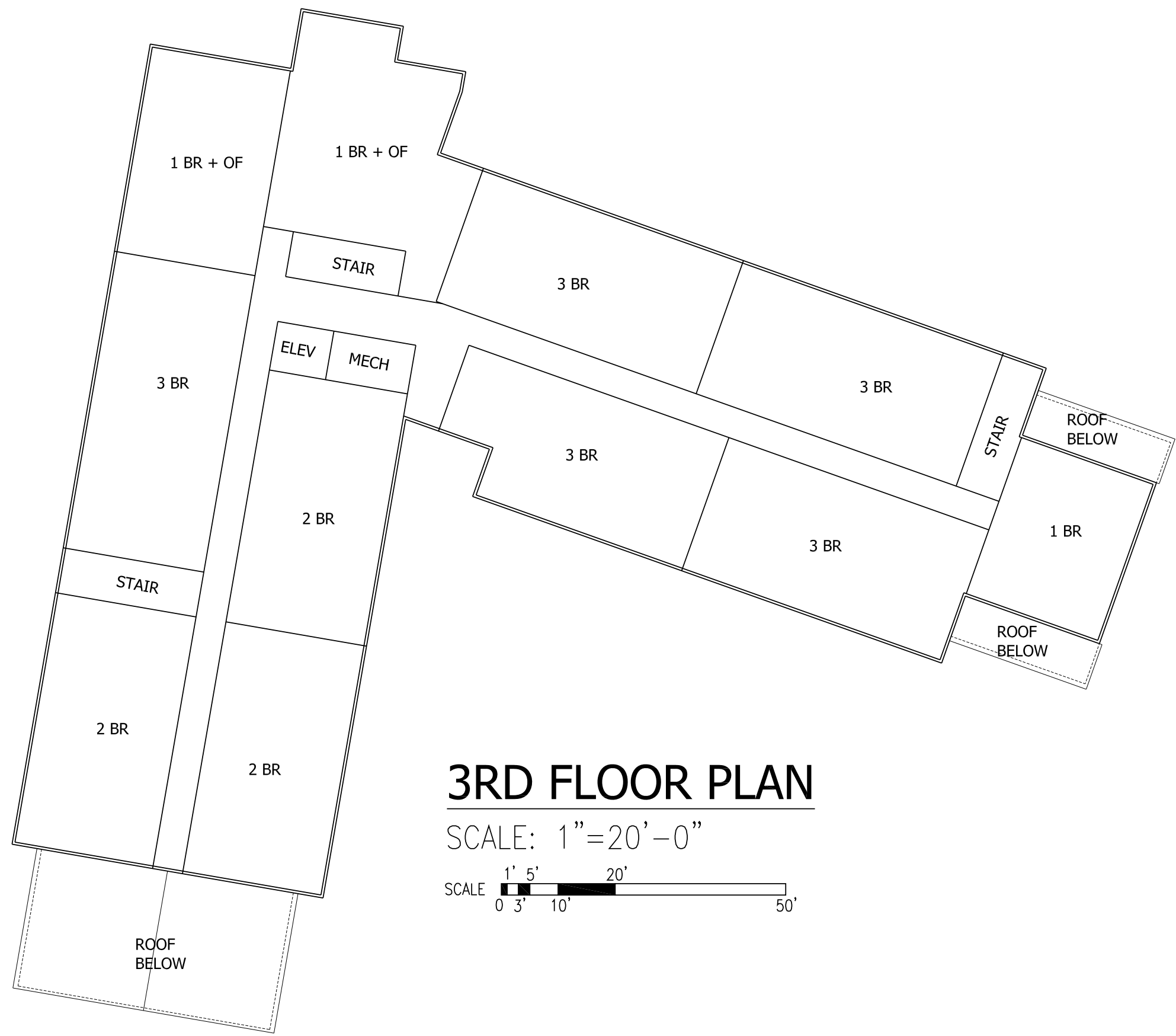
Date	06/14/21
Rev. #	1

Designer/Checker	AS NOTED
Scale	AS NOTED
Date	12/18/20

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EXIST & PROPOSED DRAINAGE AREAS
RED ROBIN PASTURES
COUNTY STREET, DOVER, MA

Signature Designs
ARCHITECTURE
73 Bishop Road, Sharon, MA 02067 781 806-0065



ORIGINAL PROPOSAL
UNIT TYPE BEDROOM QTY (IDENTICAL FLOOR PLANS)

1-BR (9 QTY) BDRM QTY = 9
2-BR (24 QTY) BDRM QTY = 48
3-BR (6 QTY) BDRM QTY = 18

TOTAL BEDROOMS = 75 TOTAL UNITS = 39

NEW PROPOSAL
UNIT & BEDROOM INFO BY FLOOR

1ST FLOOR 1-BR (1 QTY), 2-BR (7 QTY), 3-BR (3 QTY)
2ND FLOOR 1-BR (1 QTY), 2-BR (7 QTY), 3-BR (4 QTY)
3RD FLOOR 1-BR (3 QTY), 2-BR (3 QTY), 3-BR (5 QTY)

1-BR (5 QTY), 2-BR (17 QTY), 3-BR (12 QTY)

TOTAL BEDROOMS = 75 TOTAL UNITS = 34

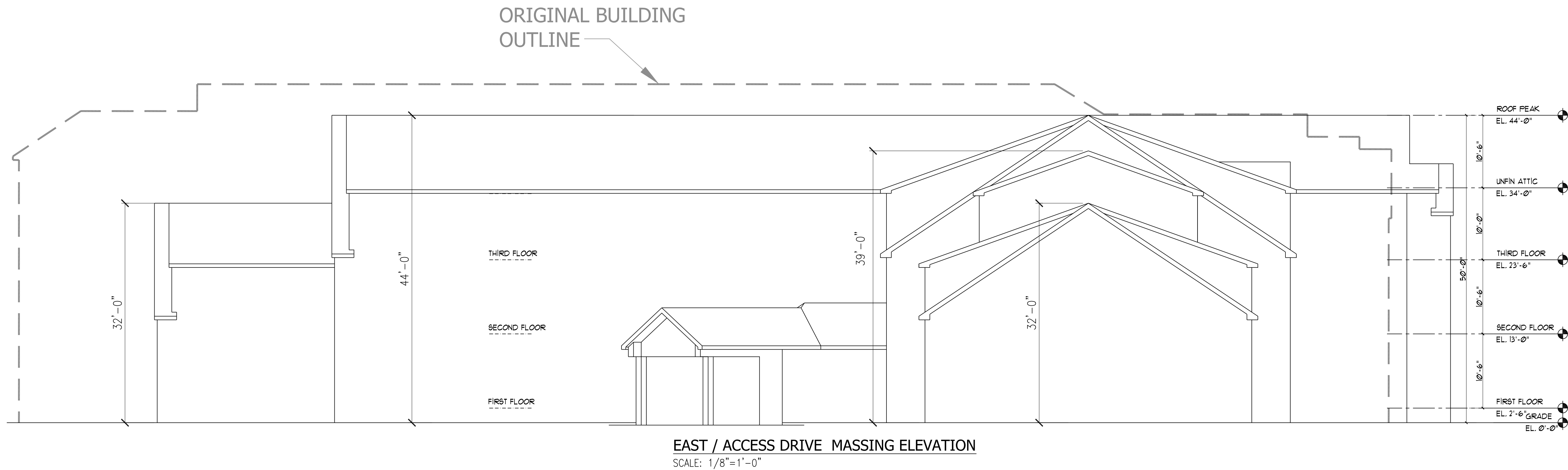
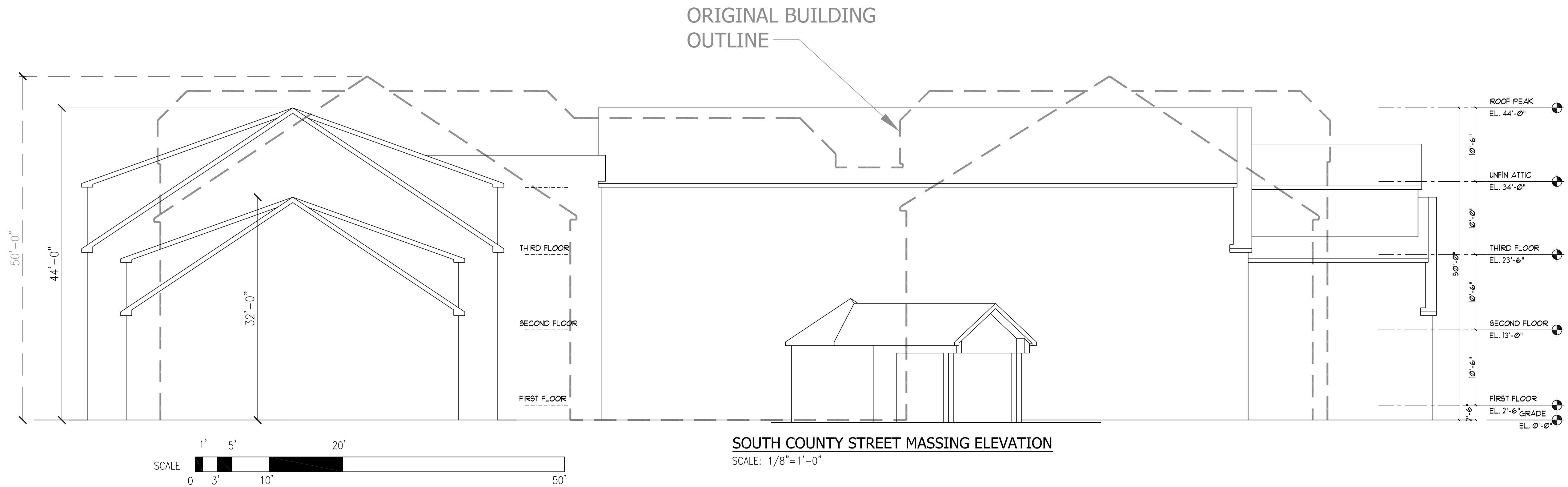
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Designer/Drafter	HB	Scale	Date
		AS NOTED	06/14/21

SITE & UPPER FLOOR PLANS
RED ROBIN PASTURES
COUNTY STREET, DOVER, MA

Signature Designs
ARCHITECTURE
73 Bishop Road, Sharon, MA 02067 781 886-0065

Sheet No.
A1.1
OF 23



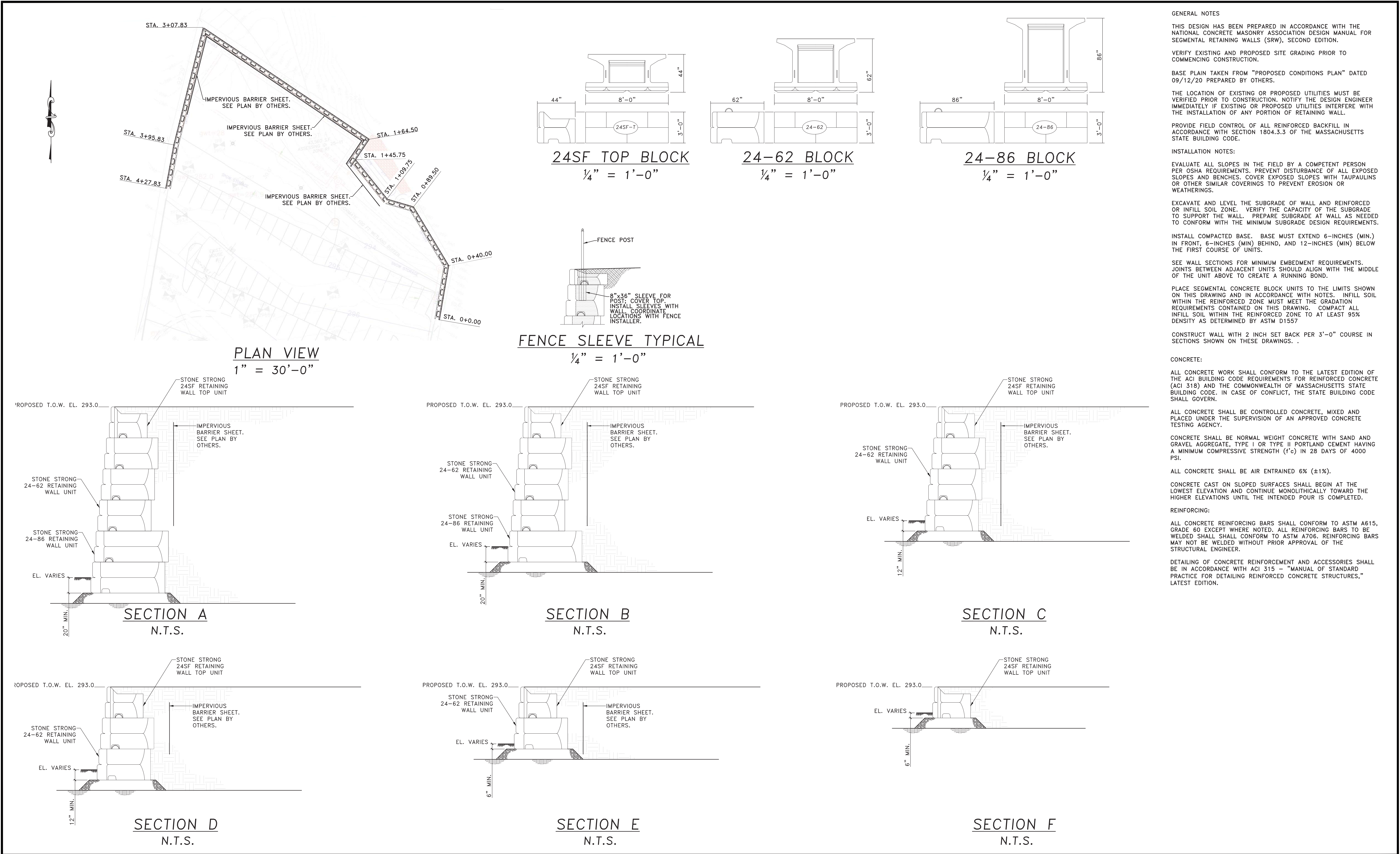
Rev. #	Date

Designer/Drafter	Scale	Date
HB	AS NOTED	06/14/21

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Drawing Description
MASSING ELEVATIONS
RED ROBIN PASTURES
COUNTY STREET, DOVER, MA

Design & Drafting services performed by:
Signature Designs
ARCHITECTURE
73 Bishop Road, Sharon, MA 02067 781 806-0063



GENERAL NOTES

THIS DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH THE NATIONAL CONCRETE MASONRY ASSOCIATION DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS (SRW), SECOND EDITION.

VERIFY EXISTING AND PROPOSED SITE GRADING PRIOR TO COMMENCING CONSTRUCTION.

BASE PLAIN TAKEN FROM "PROPOSED CONDITIONS PLAN" DATED 09/12/20 PREPARED BY OTHERS.

THE LOCATION OF EXISTING OR PROPOSED UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE INSTALLATION OF ANY PORTION OF RETAINING WALL.

PROVIDE FIELD CONTROL OF ALL REINFORCED BACKFILL IN ACCORDANCE WITH SECTION 1804.3.3 OF THE MASSACHUSETTS STATE BUILDING CODE.

INSTALLATION NOTES:

EVALUATE ALL SLOPES IN THE FIELD BY A COMPETENT PERSON PER OSHA REQUIREMENTS. PREVENT DISTURBANCE OF ALL EXPOSED SLOPES AND BENCHES. COVER EXPOSED SLOPES WITH TAUPAULINS OR OTHER SIMILAR COVERINGS TO PREVENT EROSION OR WEATHERINGS.

EXCAVATE AND LEVEL THE SUBGRADE OF WALL AND REINFORCED OR INFILL SOIL ZONE. VERIFY THE CAPACITY OF THE SUBGRADE TO SUPPORT THE WALL. PREPARE SUBGRADE AT WALL AS NEEDED TO CONFORM WITH THE MINIMUM SUBGRADE DESIGN REQUIREMENTS.

INSTALL COMPACTED BASE. BASE MUST EXTEND 6-INCHES (MIN.) IN FRONT, 6-INCHES (MIN) BEHIND, AND 12-INCHES (MIN) BELOW THE FIRST COURSE OF UNITS.

SEE WALL SECTIONS FOR MINIMUM EMBEDMENT REQUIREMENTS. JOINTS BETWEEN ADJACENT UNITS SHOULD ALIGN WITH THE MIDDLE OF THE UNIT ABOVE TO CREATE A RUNNING BOND.

PLACE SEGMENTAL CONCRETE BLOCK UNITS TO THE LIMITS SHOWN ON THIS DRAWING AND IN ACCORDANCE WITH NOTES. INFILL SOIL WITHIN THE REINFORCED ZONE MUST MEET THE GRADATION REQUIREMENTS CONTAINED ON THIS DRAWING. COMPACT ALL INFILL SOIL WITHIN THE REINFORCED ZONE TO AT LEAST 95% DENSITY AS DETERMINED BY ASTM D1557

CONSTRUCT WALL WITH 2 INCH SET BACK PER 3'-0" COURSE IN SECTIONS SHOWN ON THESE DRAWINGS. .

CONCRETE:

ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318) AND THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE. IN CASE OF CONFLICT, THE STATE BUILDING CODE SHALL GOVERN.

ALL CONCRETE SHALL BE CONTROLLED CONCRETE, MIXED AND PLACED UNDER THE SUPERVISION OF AN APPROVED CONCRETE TESTING AGENCY.

CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH SAND AND GRAVEL AGGREGATE, TYPE I OR TYPE II PORTLAND CEMENT HAVING A MINIMUM COMPRESSIVE STRENGTH (f_c) IN 28 DAYS OF 4000 PSI.

ALL CONCRETE SHALL BE AIR ENTRAINED 6% ($\pm 1\%$).

CONCRETE CAST ON SLOPED SURFACES SHALL BEGIN AT THE LOWEST ELEVATION AND CONTINUE MONOLITHICALLY TOWARD THE HIGHER ELEVATIONS UNTIL THE INTENDED POUR IS COMPLETED.

REINFORCING:

ALL CONCRETE REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 EXCEPT WHERE NOTED. ALL REINFORCING BARS TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCING BARS MAY NOT BE WELDED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI 315 - "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," LATEST EDITION.

Geotechnical Consultants, Inc.

201 Boston Post Road West
Marlborough, MA 01752
(508)229-0900 FAX (508)229-2279

0	Issue	12-24-2020
No.	Revision	Date

RETAINING WALL
SECTIONS AND ELEVATIONS

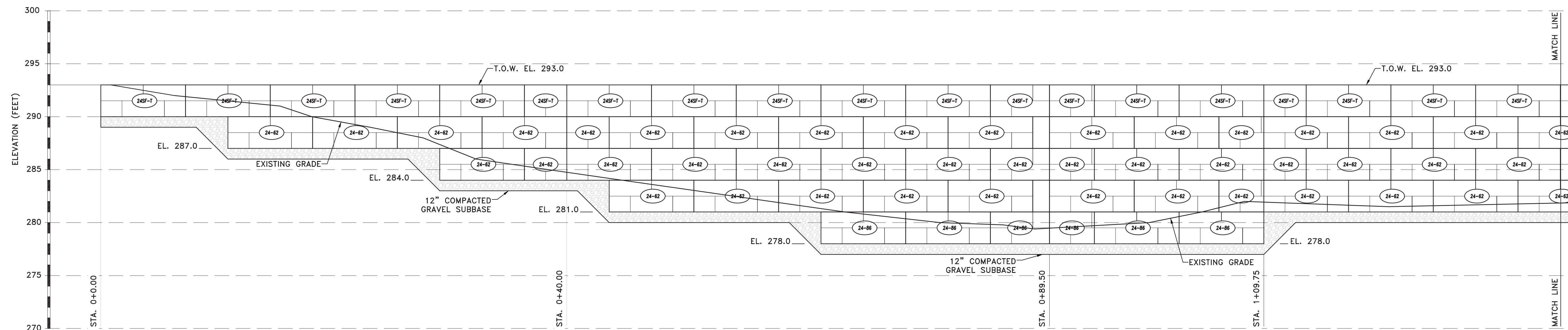
63 County Road
Dover, Massachusetts

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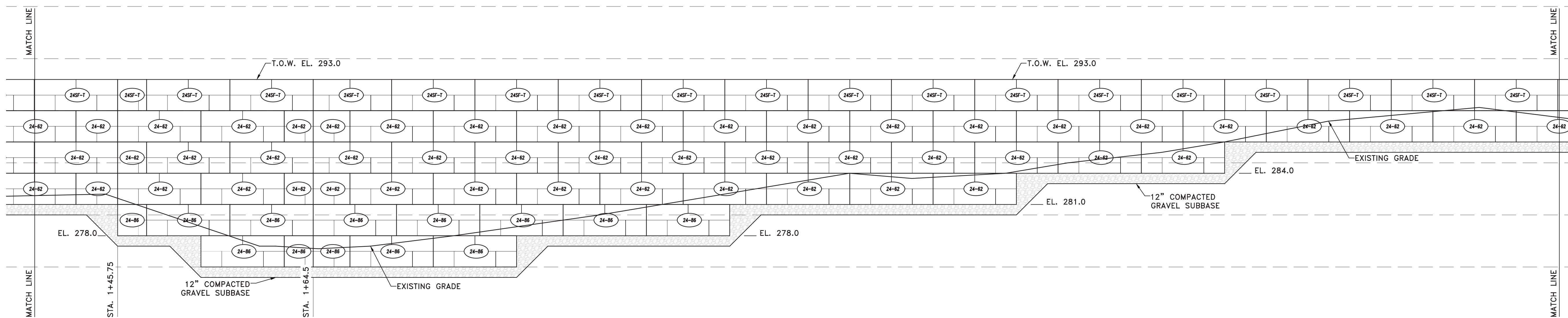
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Scale: AS NOTED	Checked By: RP

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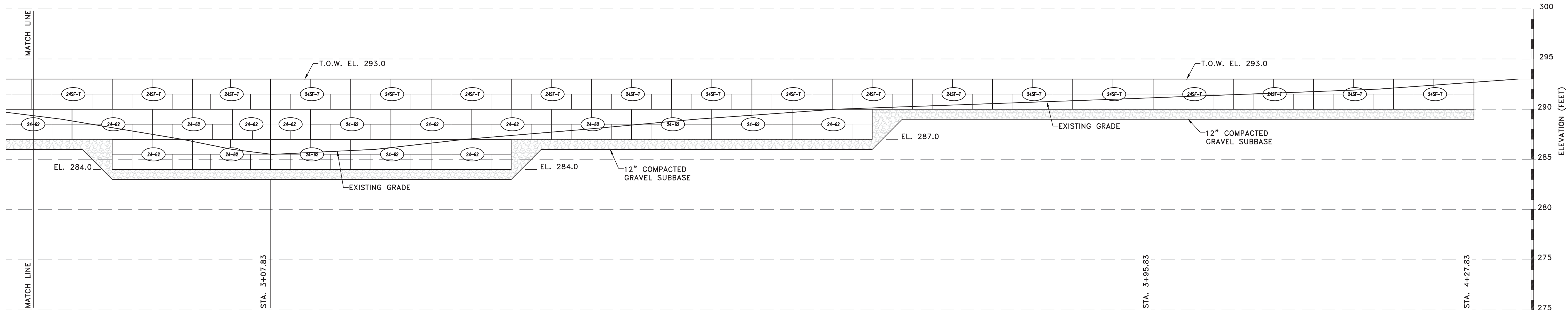
RW1



ELEVATION VIEW
 $\frac{3}{16}'' = 1'-0''$

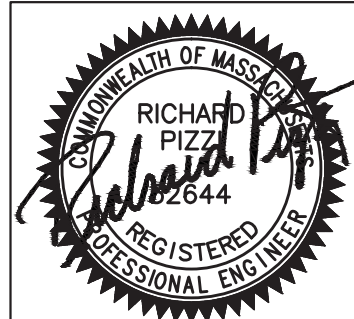


ELEVATION VIEW
 $\frac{3}{16}'' = 1'-0''$



ELEVATION VIEW
 $\frac{3}{16}'' = 1'-0''$

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 201 Boston Post Road West
 Marlborough, MA 01752
 (508)229-0900 FAX (508)229-2279



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**RETAINING WALL
 SECTIONS AND ELEVATIONS**
 63 County Road
 Dover, Massachusetts

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Sheet No.

RW2