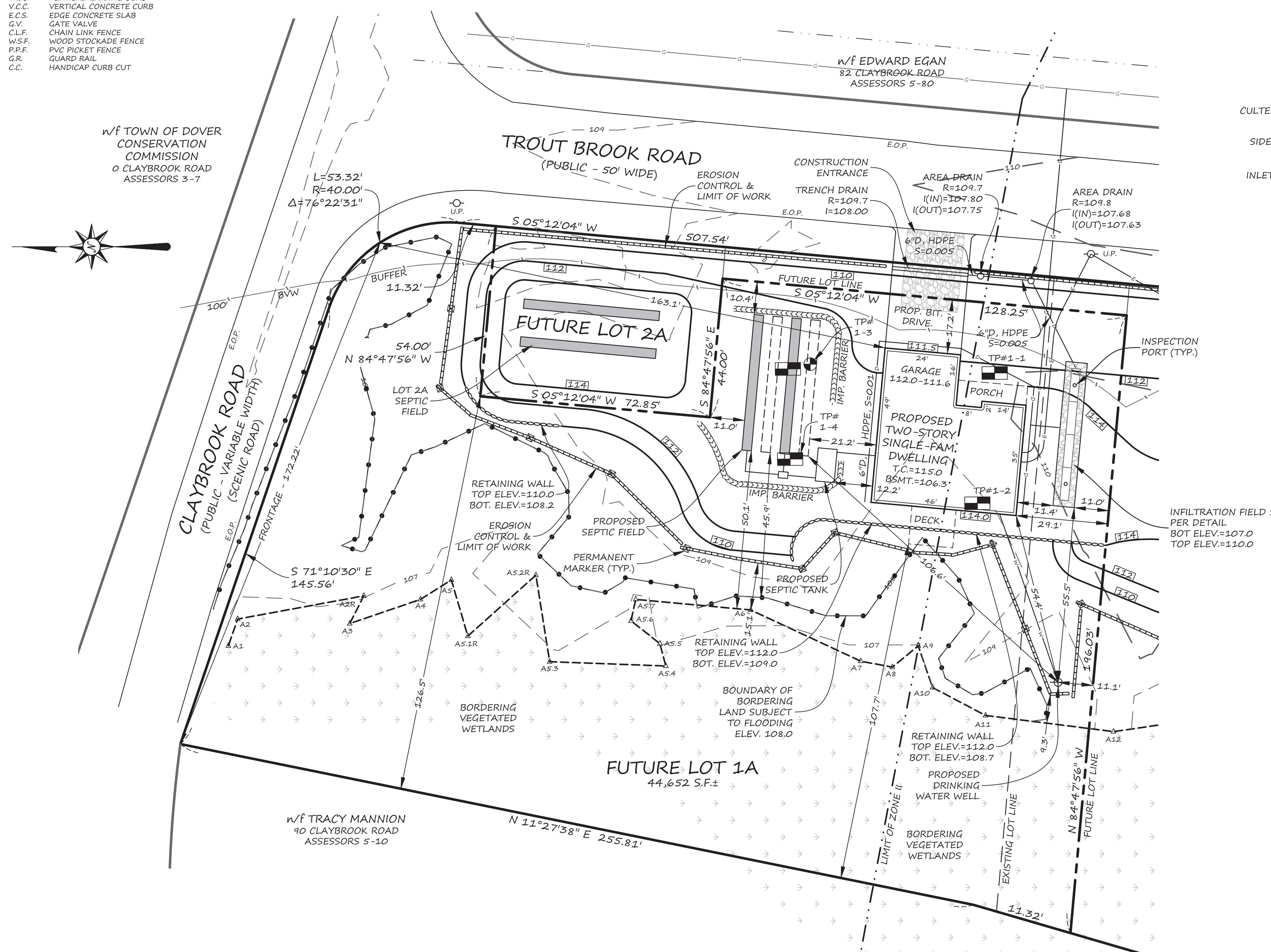


## LEGEND & ABBREVIATIONS

CB: SINGLE-GRADE CATCH BASIN  
 CB: DOUBLE-GRADE CATCH BASIN  
 PTU xxx: PROPRIETARY STORMWATER UNIT  
 DMH: DRAIN MANHOLE  
 TR. DR.: TRENCH DRAIN  
 INFIL. TR.: INFILTRATION TRENCH  
 — X" D — DRAIN PIPELINE  
 RCP: REINFORCED CONCRETE PIPE  
 PVC: POLYVINYL CHLORIDE PIPE  
 SSMH: SEWER MANHOLE  
 — X" S — SEWER PIPELINE  
 S.C.O.: SEWER SERVICE CLEANOUT  
 — X" W — WATER MAIN  
 HYD: HYDRANT  
 G.V.: WATER GATE VALVE  
 C.S.: WATER SERVICE CURB STOP  
 M.B.: WATER SERVICE METER BOX  
 — G — GAS PIPELINE  
 — E — ELECTRIC CONDUIT  
 L.P.: LIGHT POLE  
 U.P.: UTILITY POLE  
 G.Y.: GUY WIRE  
 S.P.: TRAFFIC SIGNAL POLE  
 — 252 — EXISTING CONTOUR  
 — 252 — PROPOSED CONTOUR  
 E.O.P. EDGE OF PAVEMENT  
 C.C.B. INTEGRAL SLOPED BIT. BERM  
 V.B.B. VERTICAL BITUMINOUS BERM  
 S.G.C. SLOPED GRANITE CURB  
 V.G.C. VERTICAL GRANITE CURB  
 V.C.C. VERTICAL CONCRETE CURB  
 E.C.S. EDGE CONCRETE SLAB  
 G.V. GATE VALVE  
 C.L.F. CHAIN LINK FENCE  
 W.S.F. WOOD STOCKADE FENCE  
 P.P.F. PVC PICKET FENCE  
 G.R. GUARD RAIL  
 C.C. HANDICAP CURB CUT



## ZONING REQUIREMENTS:

	REQUIRED	LOT 1A
LOT AREA	43,560 S.F.	45,650 S.F.
LOT FRONTAGE	150'	172.22'
FRONT SETBACK	40'	163.1'
SIDE SETBACK	30'	17.2'
REAR SETBACK	30'	29.1'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT IMP. COVERAGE	20%	5.8%
PERFECT SQUARE	150'x150'	NO

## UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
3. SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
4. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

OWNER & APPLICANT  
ROBERT W. RECCHIA  
16 PUTNAM LANE  
GRAFTON, MA 01519

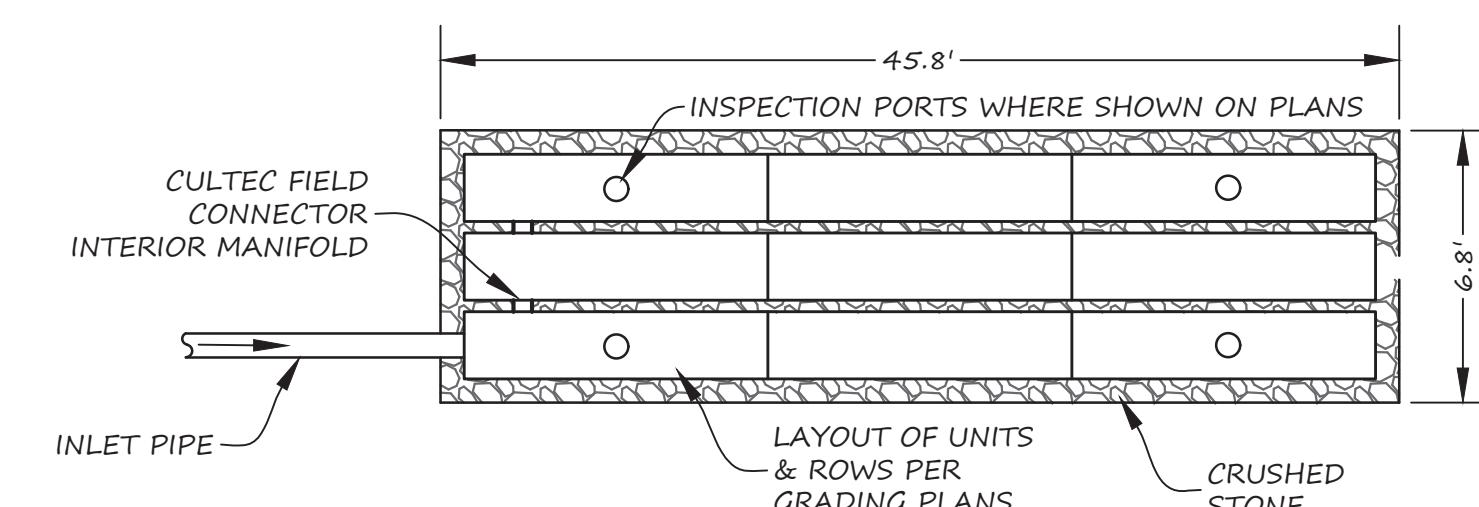
ZONING DISTRICT  
R-1  
ZONE II (PARTIALLY)  
GROUNDWATER PROTECTION  
DISTRICT GW-1

ASSESSORS PARCEL  
05-011  
05-012  
05-023  
05-078

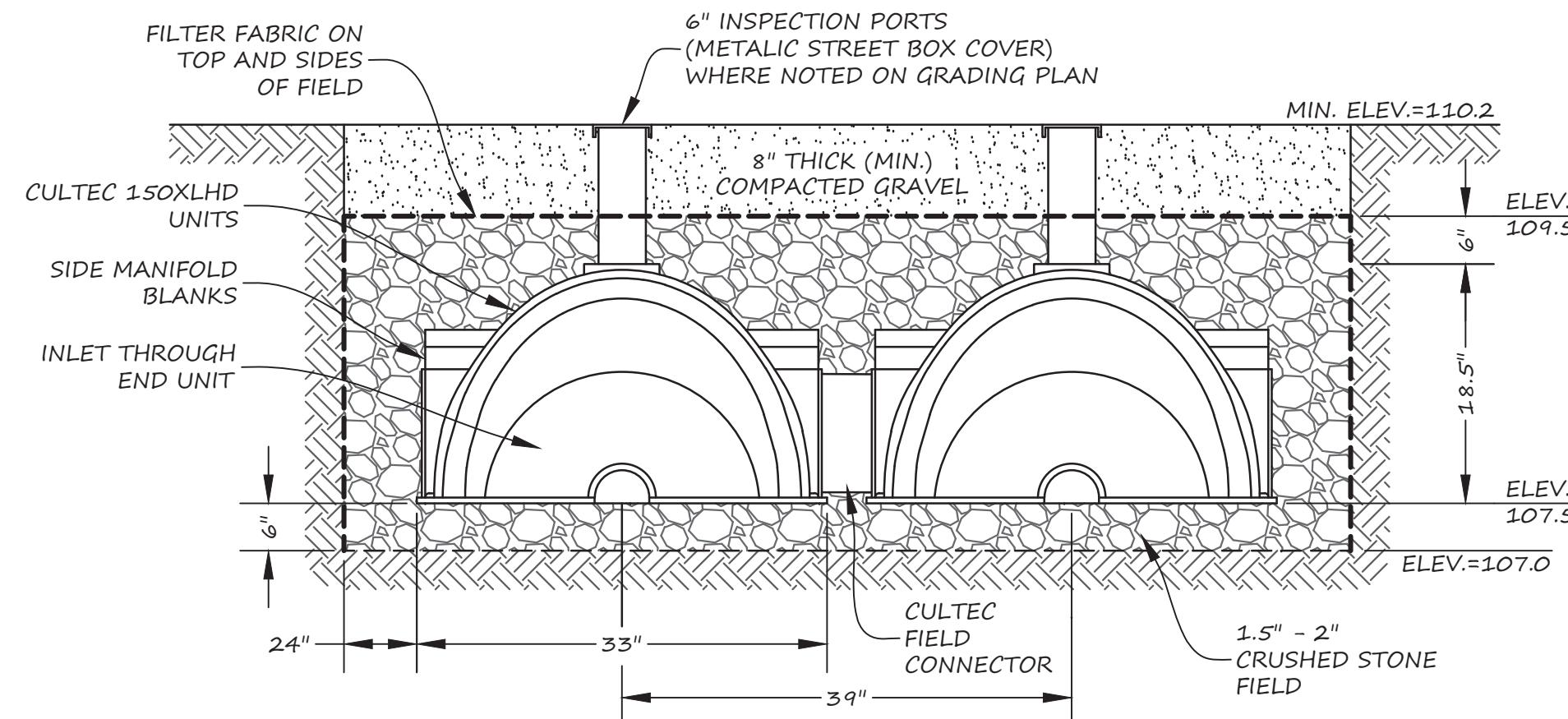
PLAN REFERENCE  
LAND COURT PLAN 30520A



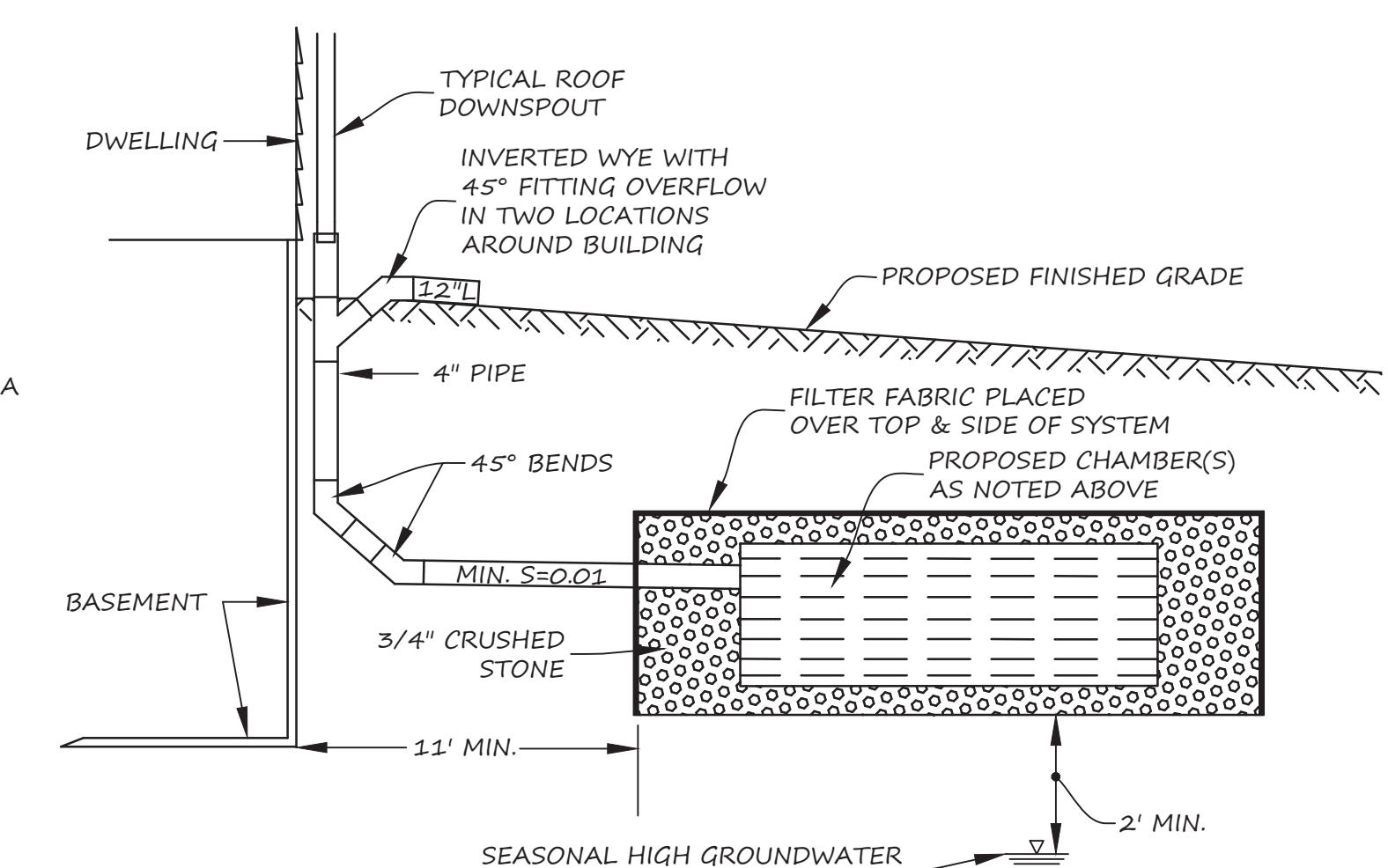
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Merrikin, P.E.  
Date: 2023.06.16 14:54:26  
04'00'



## FIELD PLAN VIEW



## SECTION THROUGH TYPICAL LEACHING FIELD



## ROOF RUNOFF INFILTRATION FIELD

## - INFILTRA

1. INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 442 C.F.
6. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
7. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
8. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH CERTIFIED SAND MEETING DESIGN ENGINEER'S APPROVAL.

DOVER HOMES  
LOT 1A  
PRELIMINARY SITE  
PLAN OF LAND IN  
DOVER, MA

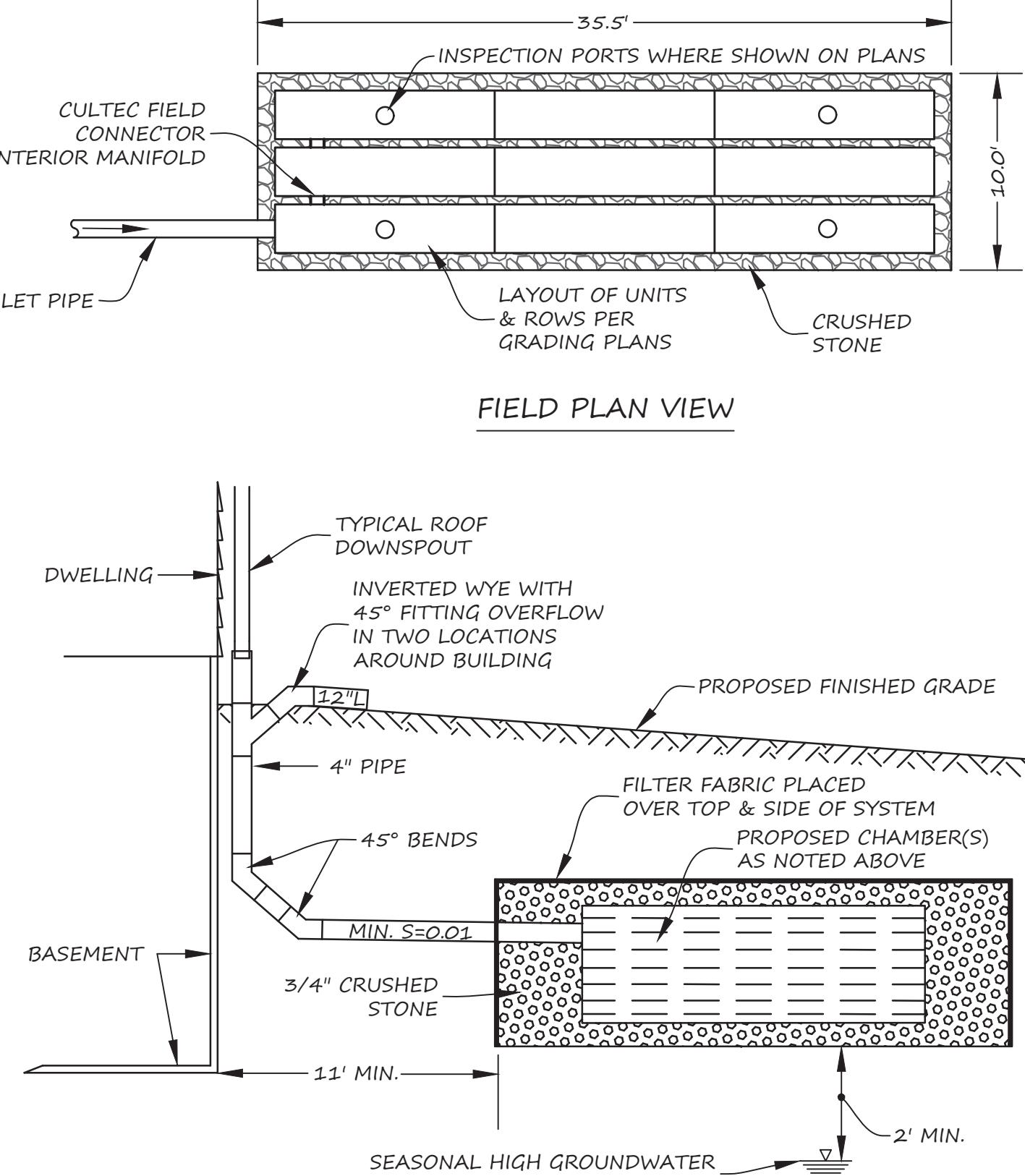
30 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
(508) 276-8882



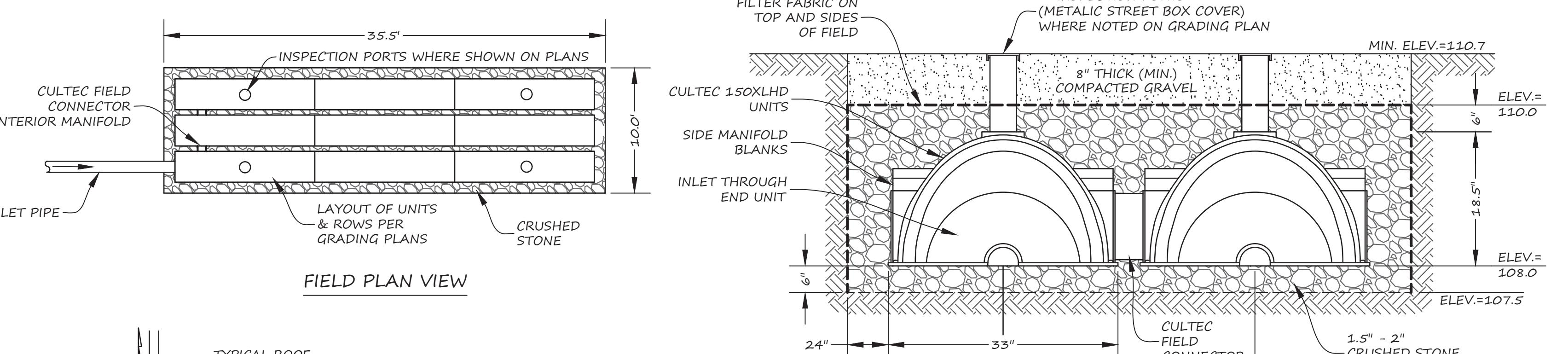
# LEGACY ENGINEERING

**LEGEND & ABBREVIATIONS**

CB: SINGLE-GRADE CATCH BASIN  
 CB: DOUBLE-GRADE CATCH BASIN  
 OPTU: PROPRIETARY STORMWATER UNIT  
 D.M.: DRAINAGE MANHOLE  
 TR: DRAIN TRENCH  
 INFIL: TR: INFILTRATION TRENCH  
 X-D: DRAIN PIPELINE  
 RCP: REINFORCED CONCRETE PIPE  
 PVC: POLYVINYL CHLORIDE PIPE  
 OSAH: SEWER  
 X-S: SEWER PIPELINE  
 Q.C.: SEWER SERVICE CLEANOUT  
 X-W: WATER MAIN  
 HYD: HYDRANT  
 G.V.: WATER GATE VALVE  
 C.S.: WATER Curb Stop  
 M.B.: WATER SERVICE METER BOX  
 G: GAS PIPELINE  
 E: ELECTRIC CONDUIT  
 L.P.: LIGHT POLE  
 U.P.: UTILITY POLE  
 G.Y.: GATE VALVE  
 S.P.: SIGNAL POLE  
 252: EXISTING CONTOUR  
 252: PROPOSED CONTOUR  
 E.O.P.: EDGE OF PAVEMENT  
 C.C.B.: INTEGRAL CLOPED BERM  
 V.B.: VERTICAL BITUMINOUS BERM  
 S.G.C.: SLOPED GRANITE CURB  
 V.G.C.: VERTICAL GRANITE CURB  
 V.C.C.: VERTICAL CONCRETE CURB  
 E.C.S.: EDGE CONCRETE SLAB  
 G.V.: GATE VALVE  
 C.L.F.: CLOPED FENCE  
 W.S.F.: WOOD STOCKADE FENCE  
 P.P.F.: PVC PICKET FENCE  
 G.R.: GUARD RAIL  
 C.C.: HANDICAP CURB CUT



ROOF RUNOFF INFILTRATION FIELD  
NOT TO SCALE



SECTION THROUGH TYPICAL LEACHING FIELD

NOTES:

1. INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 461 C.F.
6. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
7. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
8. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
3. SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
4. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

ZONING REQUIREMENTS:

REQUIRED	LOT 2A
LOT AREA	43,560 S.F.
LOT FRONTAGE	150'
FRONT SETBACK	40'
SIDE SETBACK	30'
REAR SETBACK	30'
HEIGHT	2.5 STORIES
LOT COVERAGE	20%
PERFECT SQUARE	150x150'
	YES

OWNER & APPLICANT  
ROBERT W RECHIA  
16 PUTNAM LANE  
GRAFTON, MA 01519

ZONING DISTRICT  
R-1  
ZONE II (PARTIALLY)  
GROUNDWATER PROTECTION  
DISTRICT GW-1

ASSESSORS PARCEL  
05-011  
05-012  
05-023  
05-078

PLAN REFERENCE  
LAND COURT PLAN 30520A

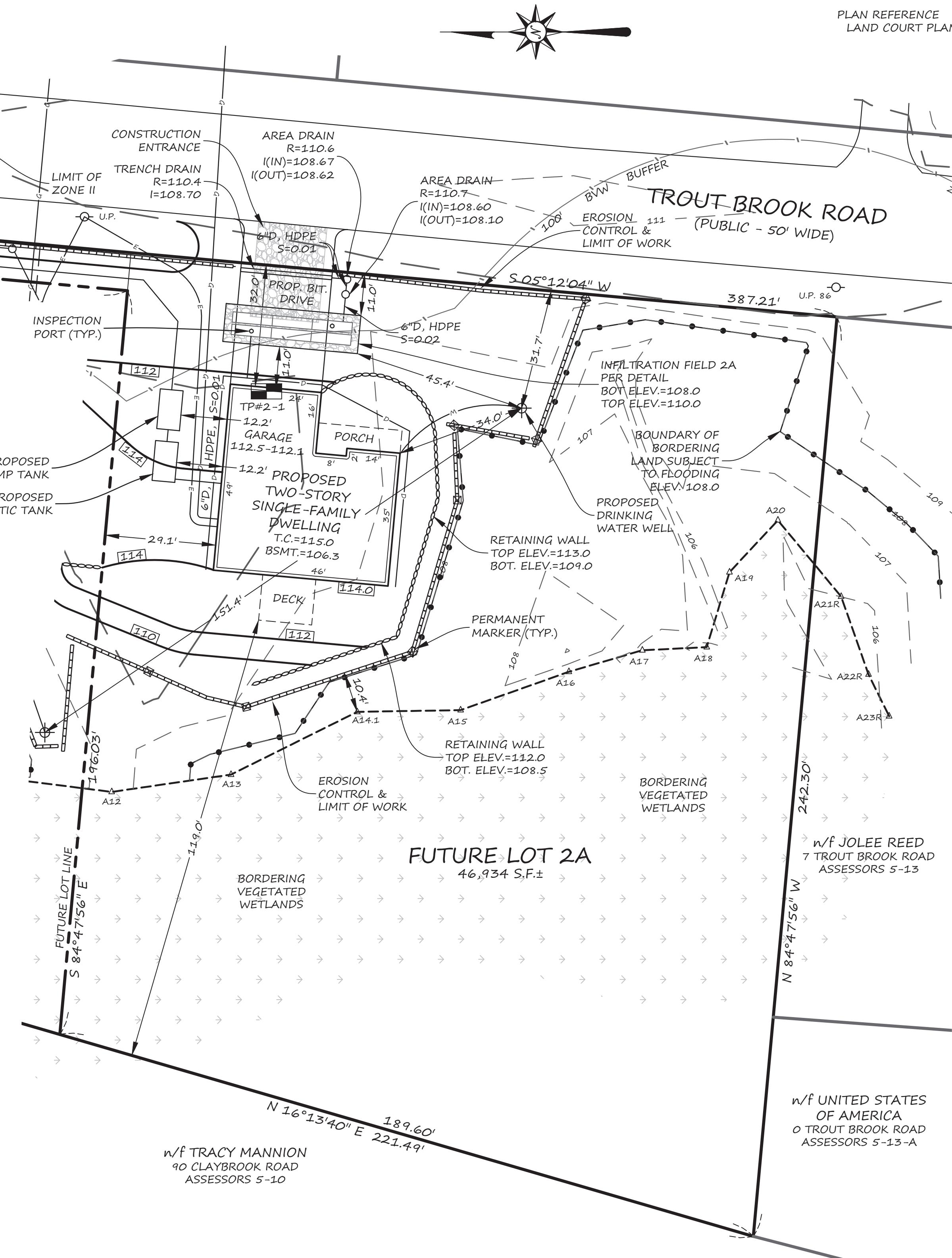


Digitally signed by Daniel J. Merrirk, P.E.  
Date: 2023.06.16 14:54:10  
04'00"

PLAN SCALE: 1" = 20'  
0' 20' 40' 60' 80'

PLAN DATE: JUNE 7, 2023	DATE	BY
REVISION		

DOVER HOMES  
LOT 2A  
PRELIMINARY SITE  
PLAN OF LAND IN  
DOVER, MA



730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

LEGACY  
ENGINEERING





OWNER & APPLICANT  
ROBERT W RECCHIA  
16 PUTNAM LANE  
GRAFTON, MA 01519

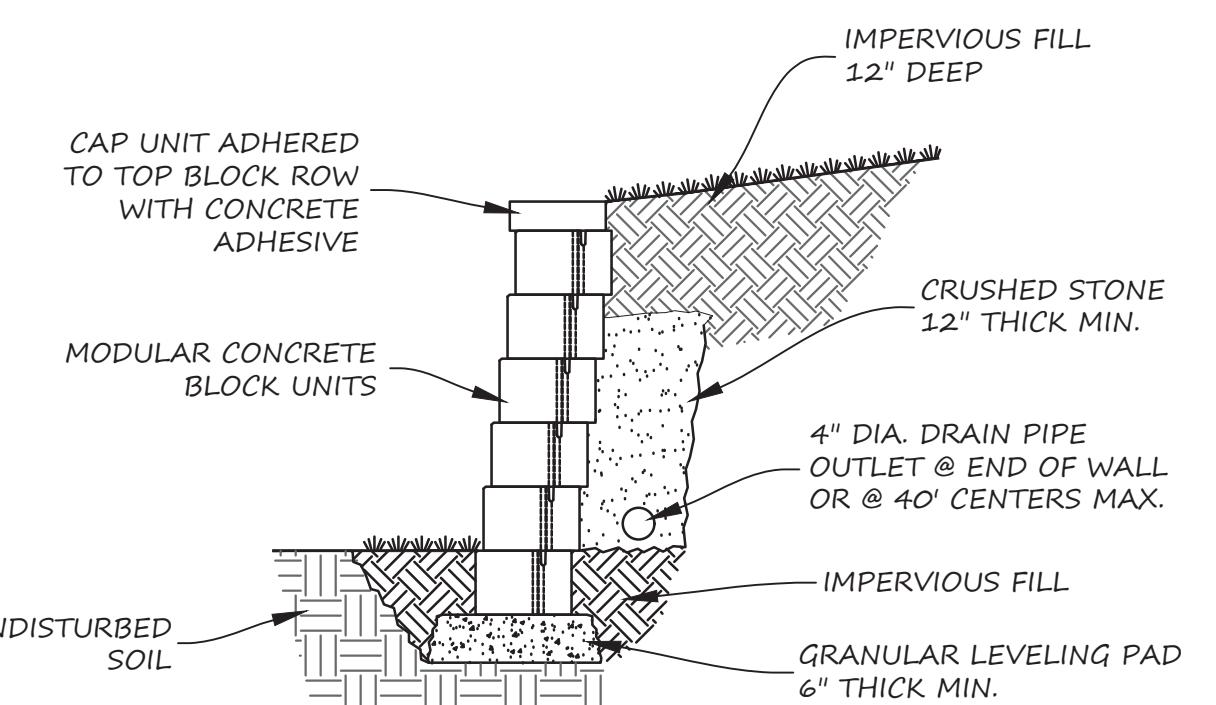
ZONING DISTRICT  
R-1  
ZONE II (PARTIALLY)  
GROUNDWATER PROTECTION  
DISTRICT GW-1

ASSESSORS PARCEL  
05-011  
05-012  
05-023  
05-078

PLAN REFERENCE  
LAND COURT PLAN 30520A



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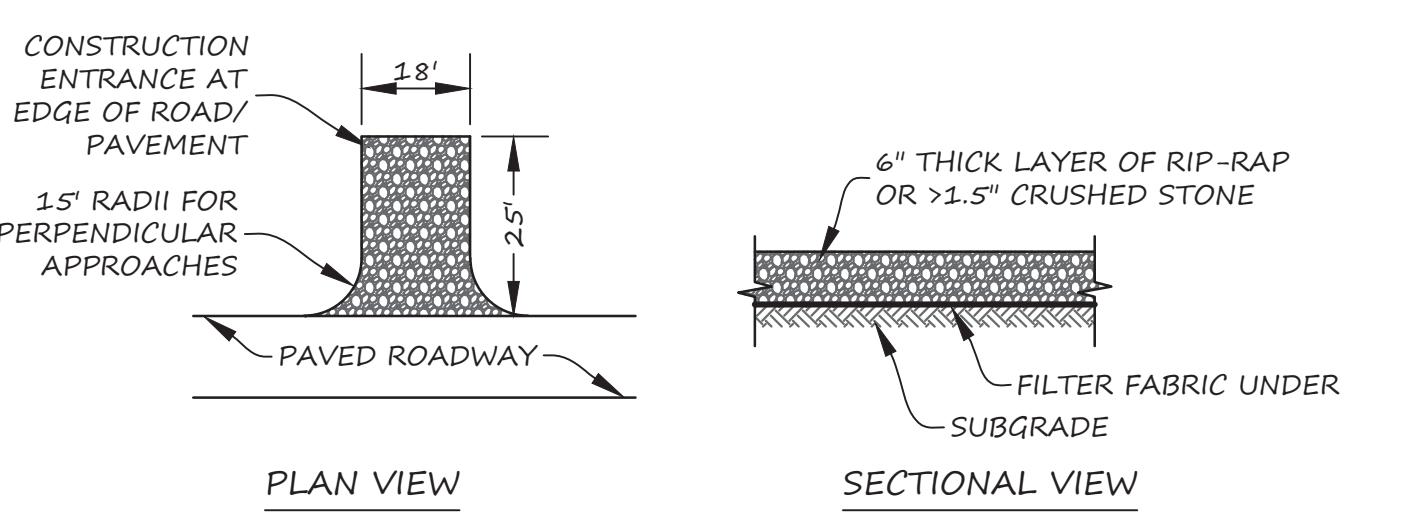


NOTES:

1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
2. WALL HEIGHTS OVER FOUR FEET, INCLUDING FOOTING, MAY REQUIRE A BUILDING PERMIT AND/OR STRUCTURAL DESIGN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY BUILDING PERMITS AND FOR PROVIDING STRUCTURAL WALL DESIGN MEETING THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, AS DEEMED APPLICABLE BY THE BUILDING INSPECTOR.
3. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

### TYPICAL "SMALL BLOCK" RETAINING WALL

NOT TO SCALE

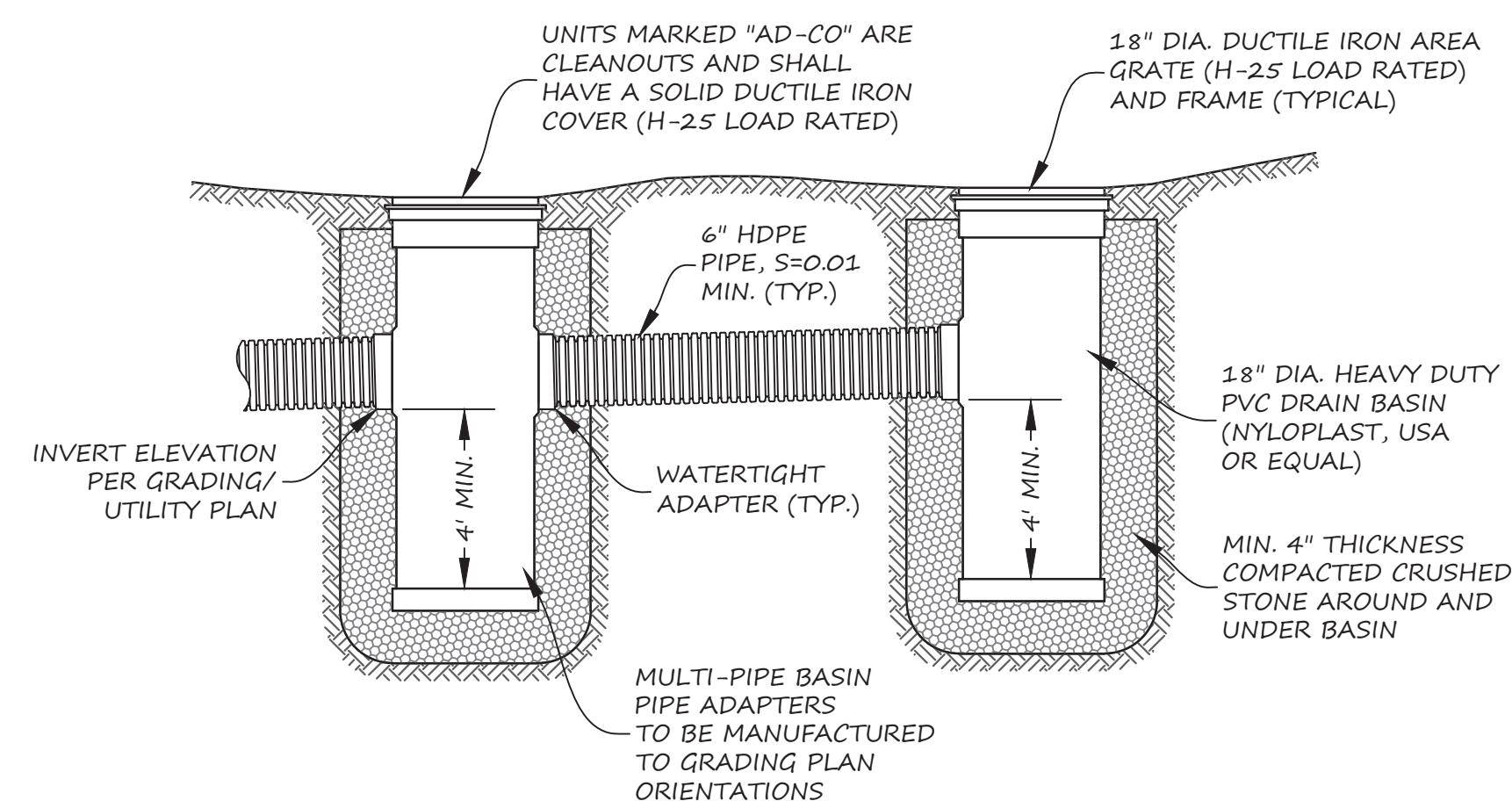


NOTES:

1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONDITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

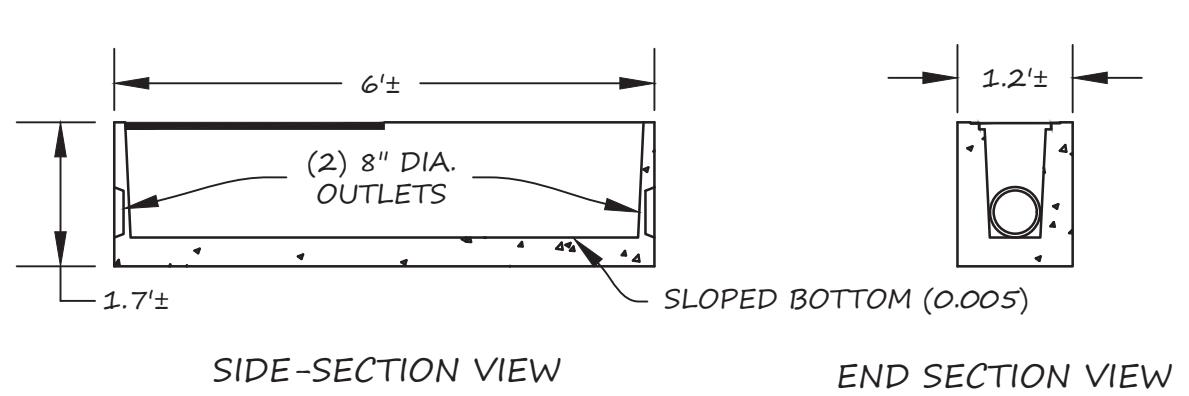
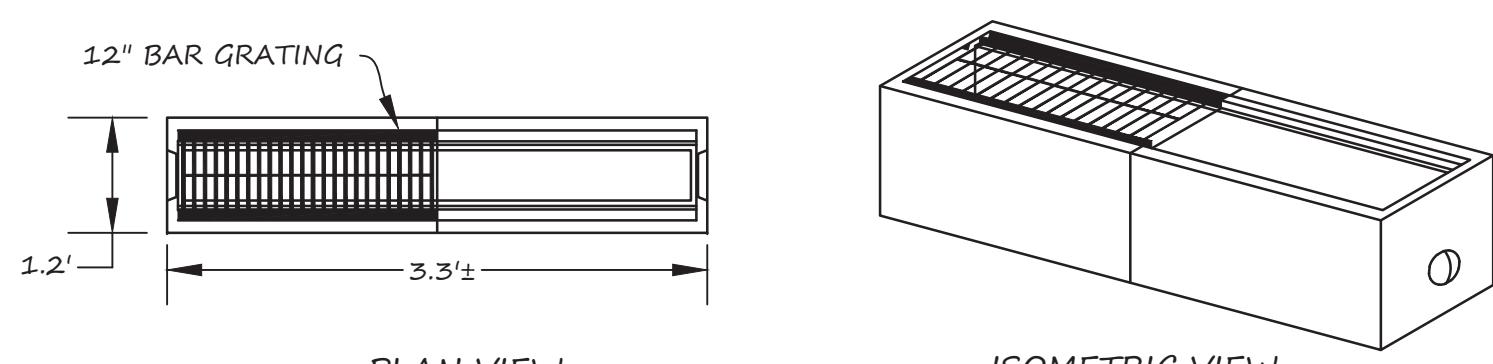
### CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



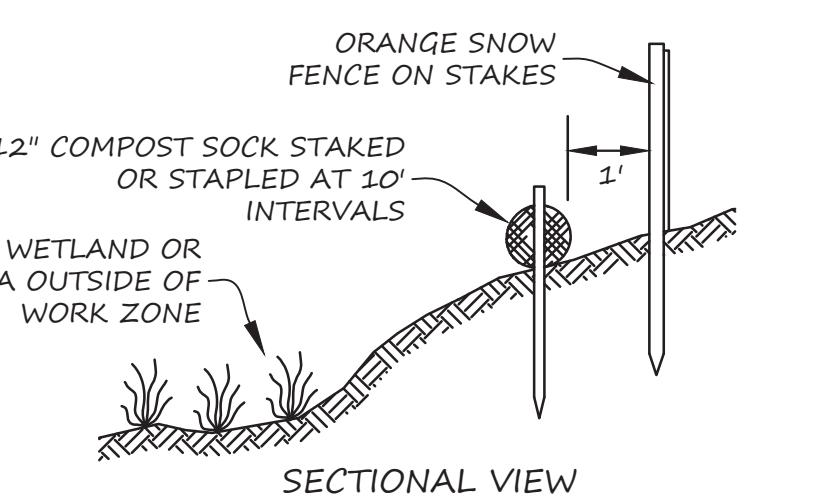
### AREA DRAIN (A.D.) DETAIL

NOT TO SCALE



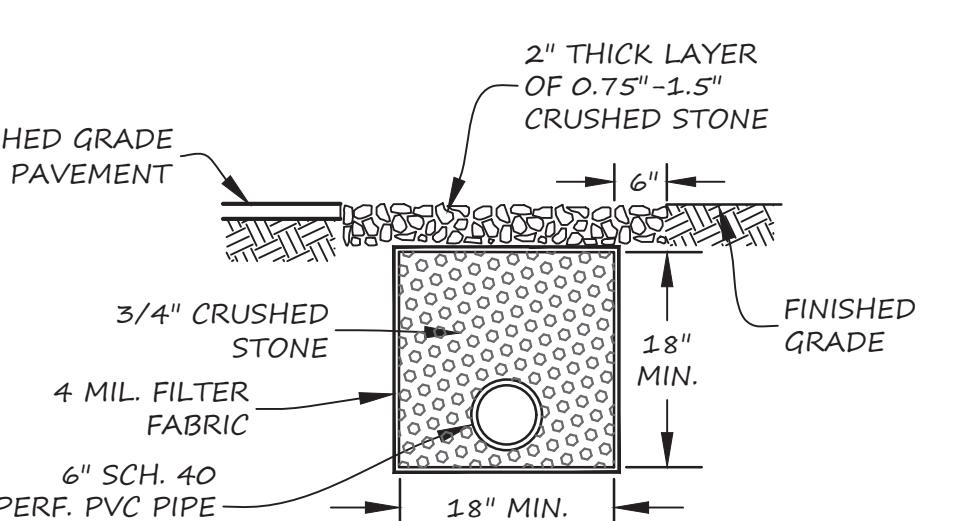
NOTES:

1. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
2. SHALL CONFORM TO H-20 LOADINGS.
3. SHALL BE POWER DRAIN S300K BY ACO DRAIN OR EQUAL.



### EROSION CONTROL DETAIL (COMPOST SOCK)

NOT TO SCALE



### FRENCH DRAIN

NOT TO SCALE

PLAN DATE: JUNE 7, 2023  
REVISION

DOVER HOMES  
LOT 45  
PRELIMINARY SITE  
PLAN OF LAND IN  
DOVER, MA

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)