



Pulte Homes of New England

Junction Street, Dover



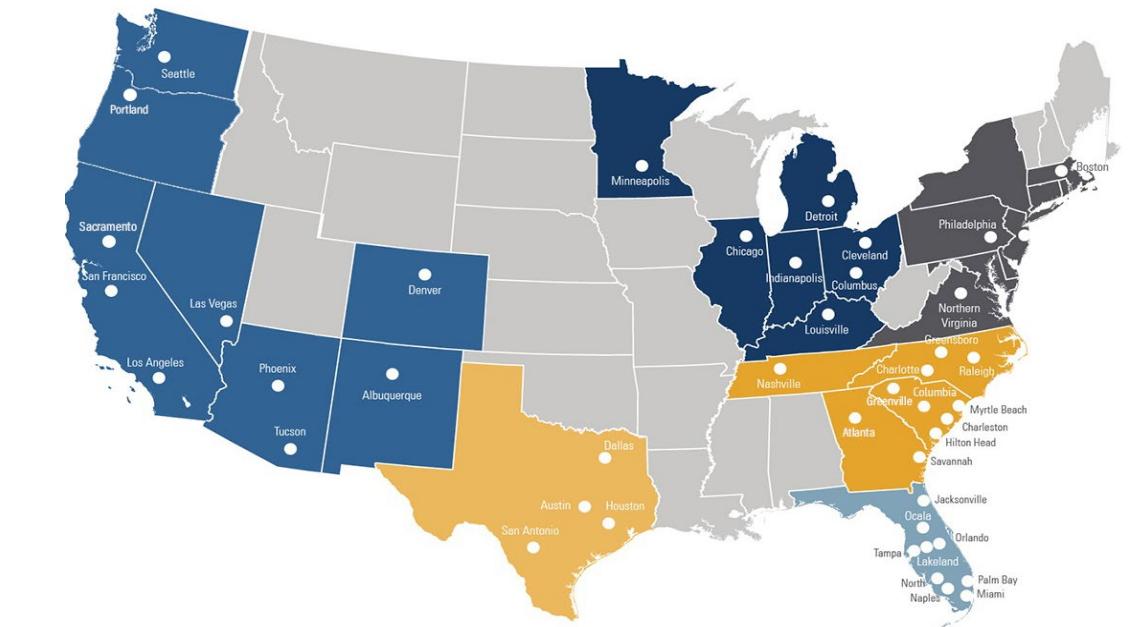
PulteGroup Overview

- **Unmatched Experience**
- **National Homebuilder**
- **Diverse Product and Buyer**
- **Robust Financing Capabilities**

Pulte Brands



Pulte Geographical Presence



Pulte Homes of New England

- **Largest For-Sale Homebuilder in New England**
- **25+ Years of Experience in the Market**
- **Delivered Over 8,100 Housing Units**
- **Local Internal Team to Take Projects from Start-to-Finish**
- **Capability to Complete Large-Scale Complex Projects**

#	Community	Details
1	Riverside Woods (Andover)	200 Homes - 62+ Community; SF and 4-story lowrise buildings
2	Martins Landing (North Reading)	502 Homes - 55+ Community; 4 and 5-story lowrise buildings
3	Pennington Crossing (Walpole)	186 Homes - 55+ Community; 4-story lowrise buildings
4	Upton Ridge (Upton)	139 Homes - 55+ Community; THs
5	Chauncy Lake (Westborough)	700 Homes - 55+ Community; 4-story lowrise buildings
6	Woodland Hill (Grafton)	46 Homes - SF detached homes
7	Winslow Point (Grafton)	105 Homes - THs and 4-story lowrise buildings
8	Highland at Vale (Woburn)	197 Homes - THs and 4-story lowrise buildings
9	Emery at Cold Brook Crossing (Sudbury)	81 Homes - 55+ Community; THs and 4-story lowrise buildings
10	Preston at Cold Brook Crossing (Sudbury)	92 Homes - THs



Project Team



Civil/General Engineering and Landscape Architecture



Natural Resource Evaluation, Identification, and Analysis



Transportation Impact Analysis

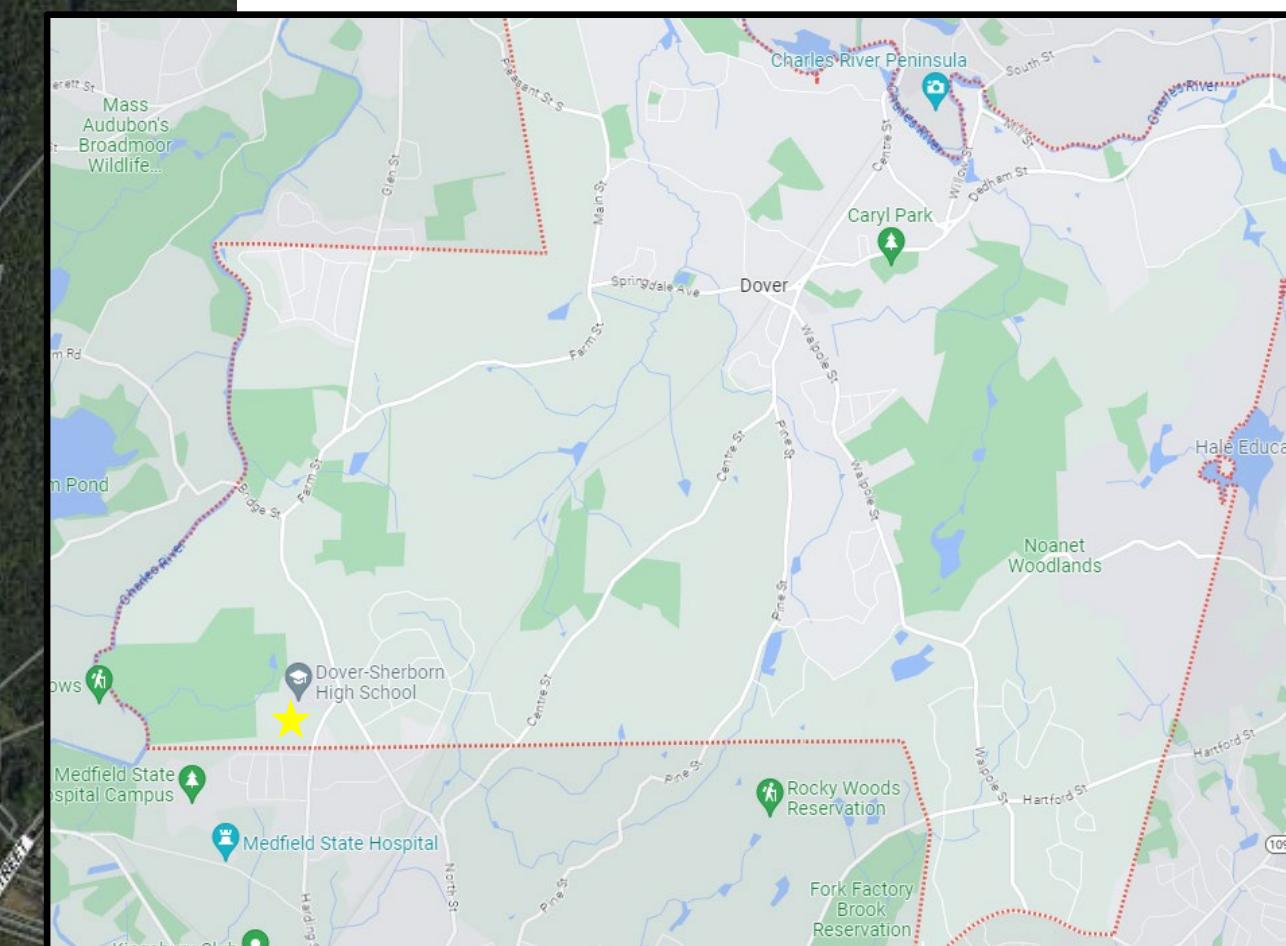
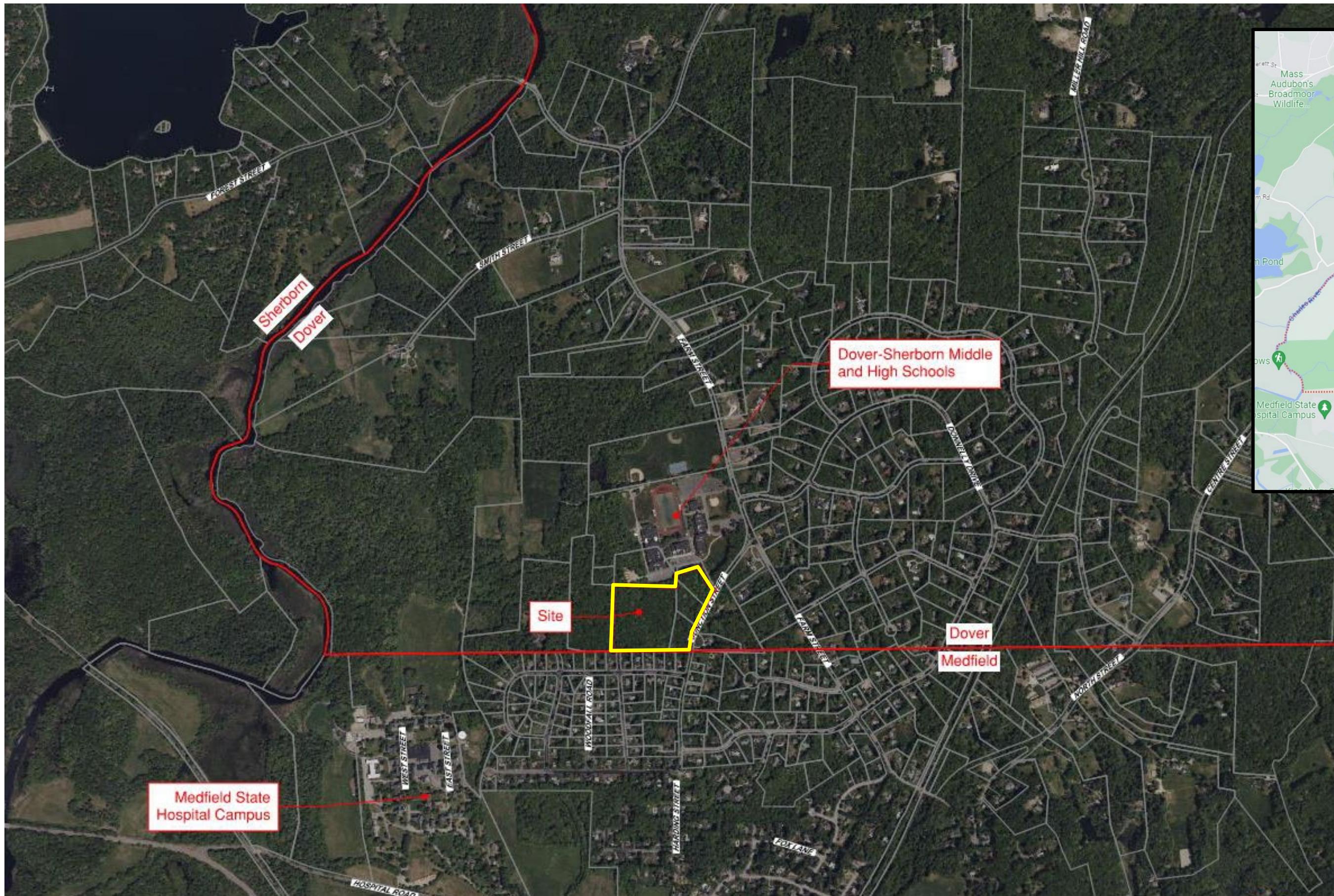


Legal Services



Utility Infrastructure Analysis and Design

Junction Street Property



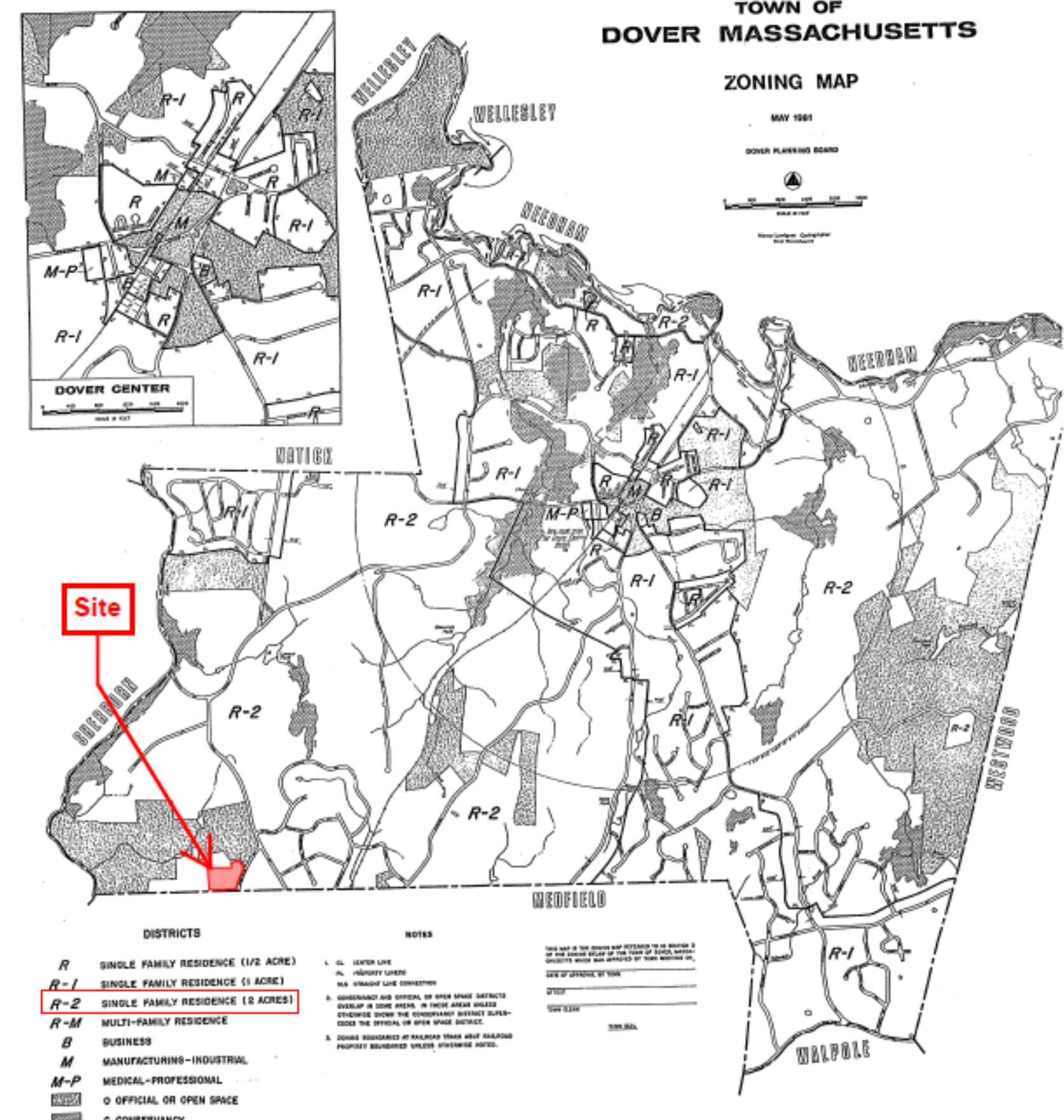
Junction Street Zoning

EXISTING ZONING

- **R-2 Single-Family (2 acres)**
- **Multifamily allowed under Special Permit and Site Plan Review w/Planning Board**

POTENTIAL DEVELOPMENT STRATEGIES

- **Chapter 40B**
- **MBTA Zoning**
- **New Overlay Zoning (Multifamily/Age-Restricted)**



Dover Housing Goals

HOUSING PRODUCTION GOALS

- Work to meet the 40B Housing Targets to reach and maintain “safe harbor” certification, eventual 10% affordability, and then continue to promote initiatives to address local housing needs.
- Promote a welcoming, diverse, intergenerational, and inclusive community with a mix of housing opportunities...
- Foster safe, well-designed, and sustainable housing.
- Integrate affordable and diverse housing options at a scale and in character with the built environment.
- Create viable options for older adults to remain in Dover as their housing needs change.
- Create entry level housing opportunities.
- Minimize impacts of new development on priority areas for open space, conservation, and natural resource protection.
- Prioritize the production of permanently affordable units.

Dover Housing Production Plan

Needs Analysis

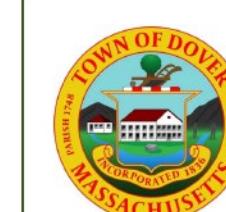
June 21, 2021



HOUSING PRODUCTION PLAN

Town of Dover

FY22-FY26



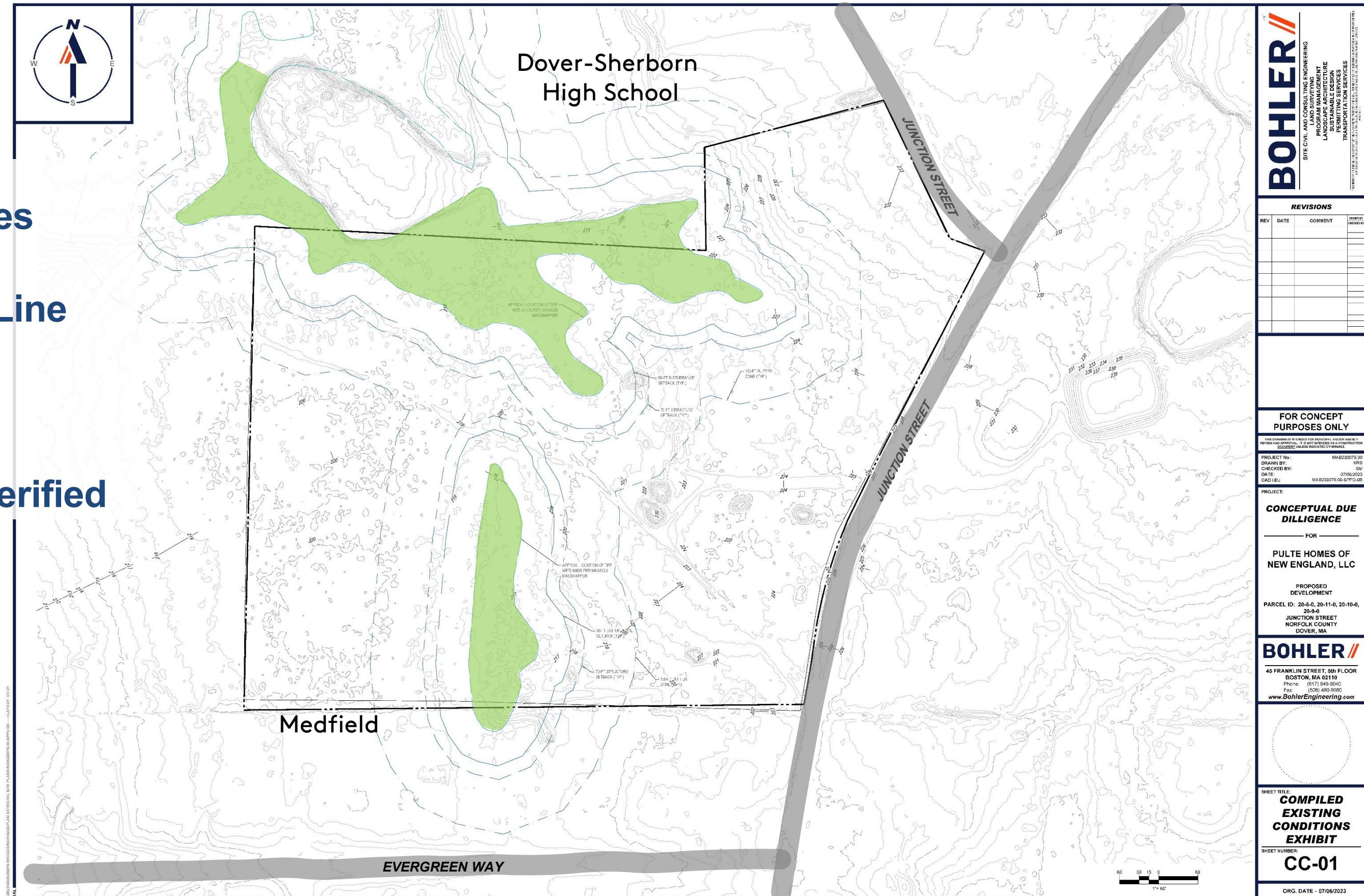
Prepared for:
Town of Dover
Planning Board

Prepared by:
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December 16, 2021

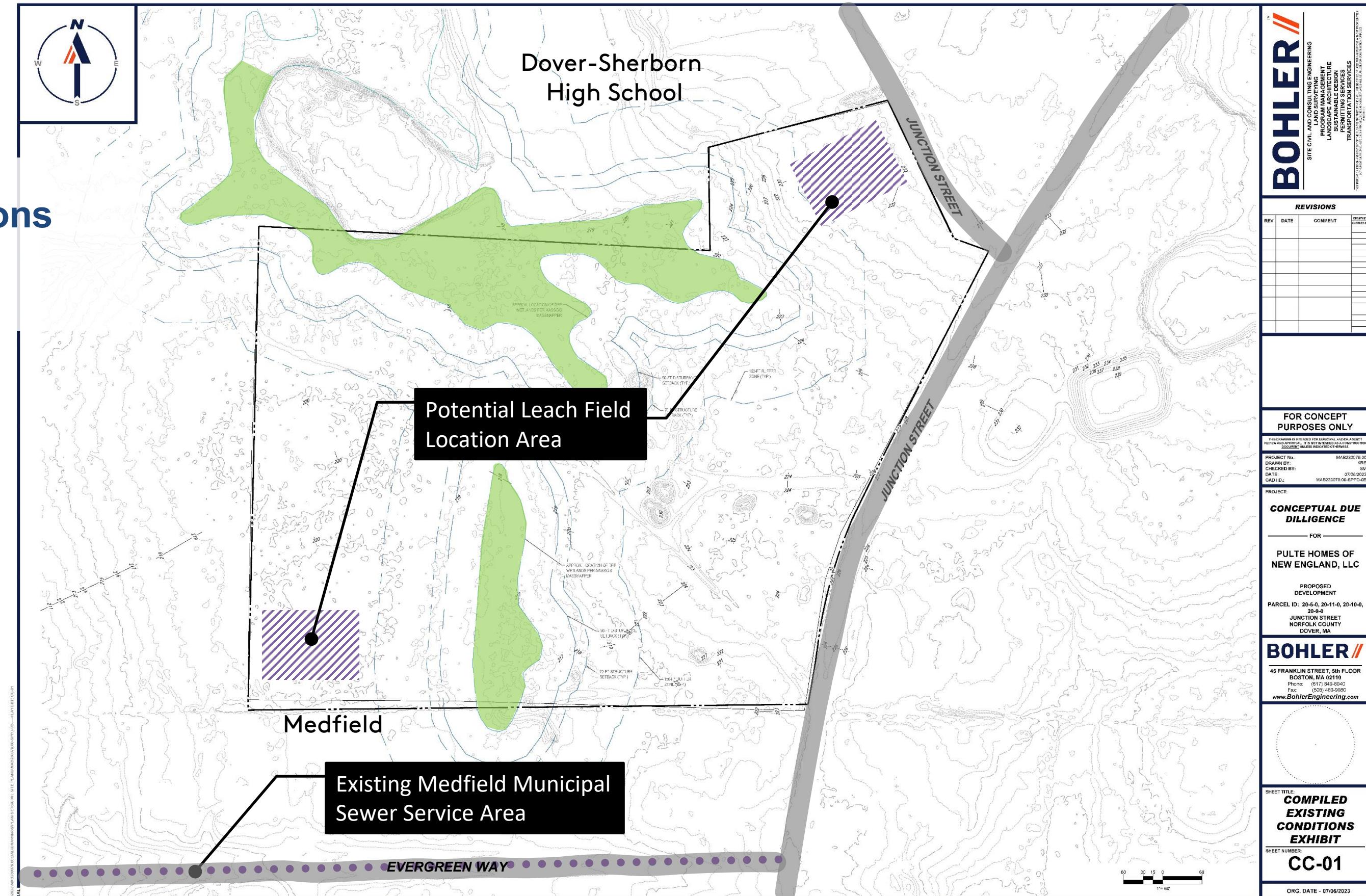
Junction Street Site Characteristics

- **Approximately 17 total acres**
- **Between HS and Medfield Line**
- **Fairly flat wooded site**
- **Wetland areas to be field verified**



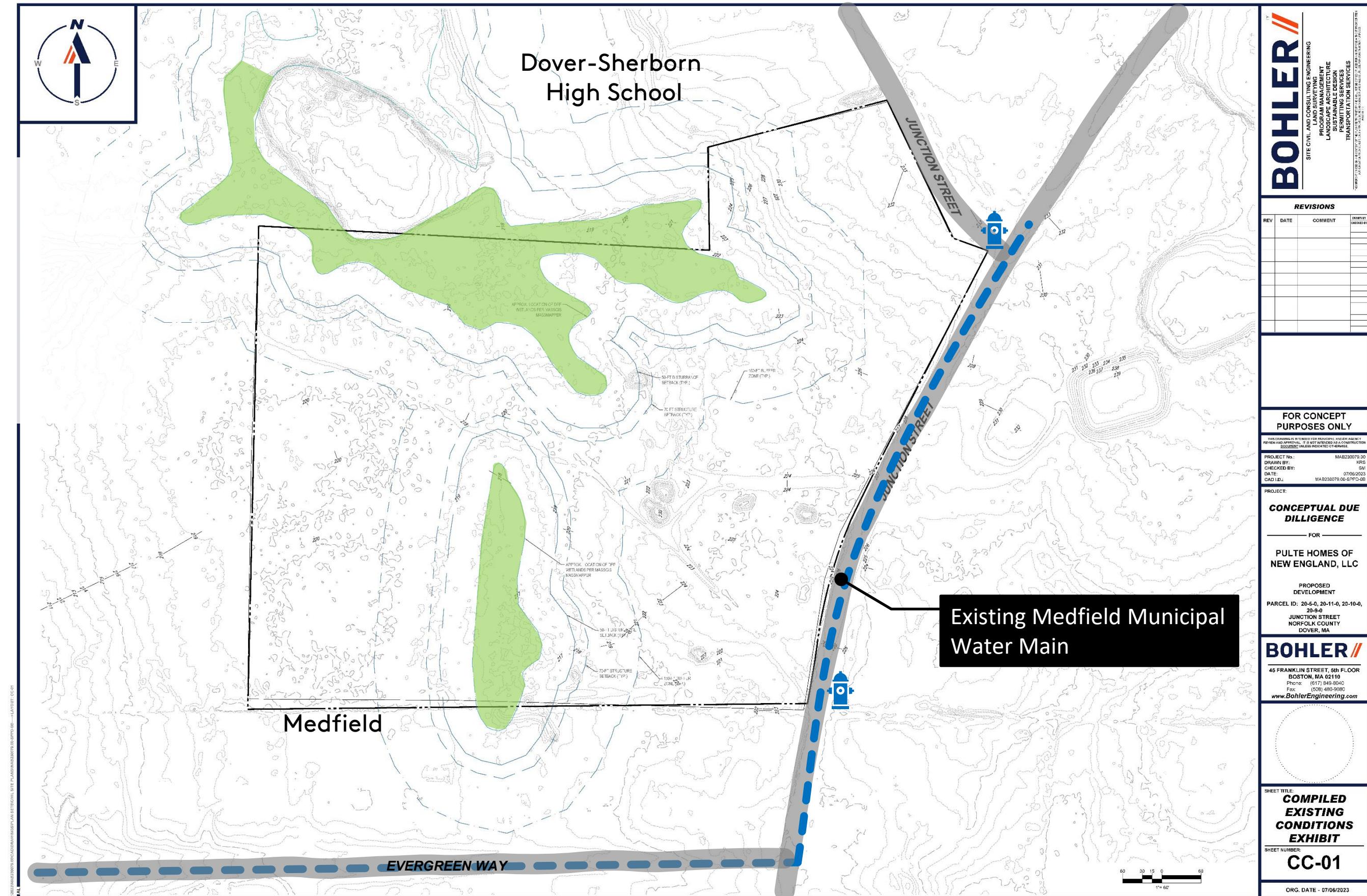
Junction Street Site Characteristics

- Potential leach field locations
- Other Sewer Options



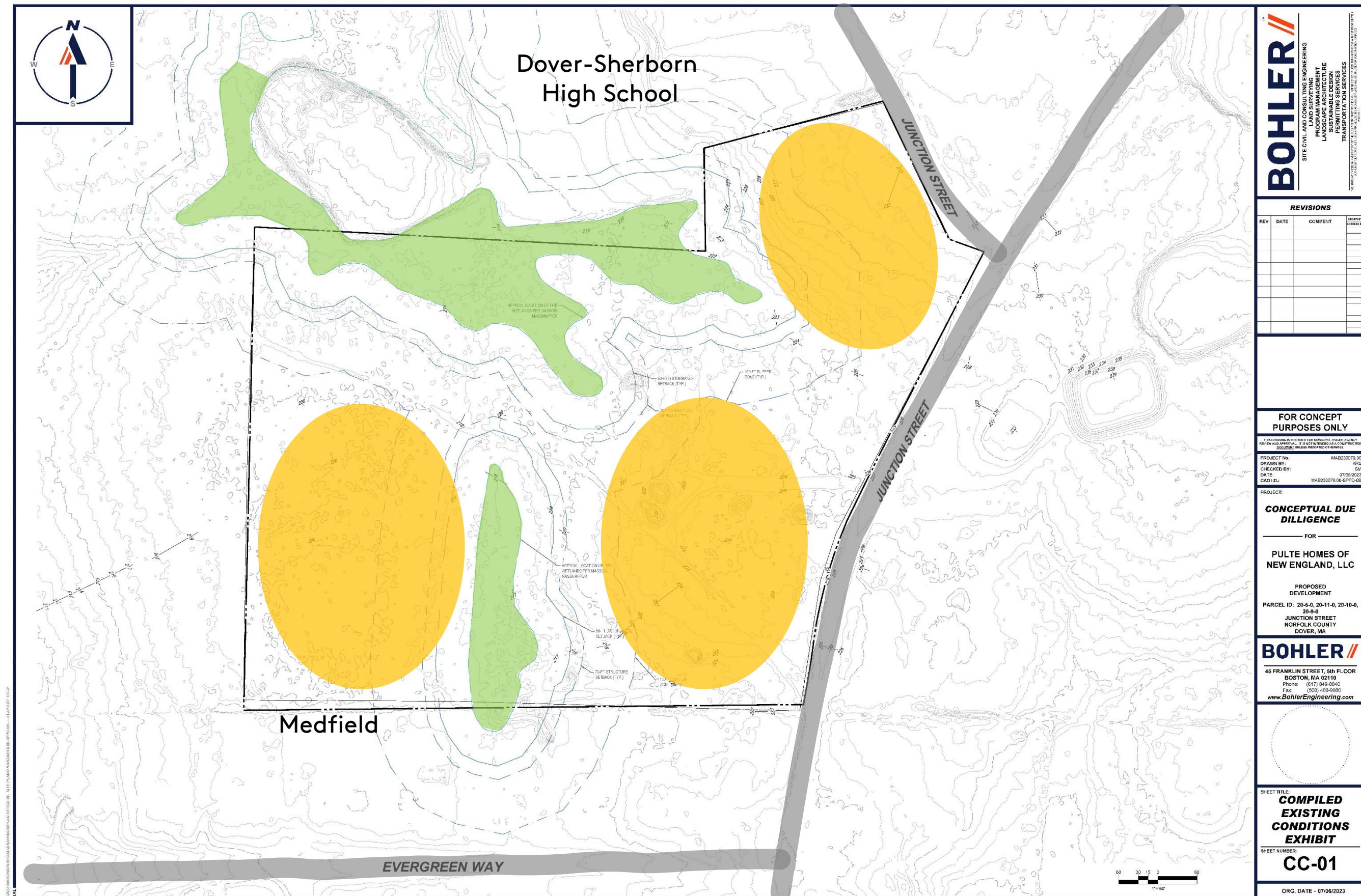
Junction Street Site Characteristics

- Site Water Options
- Junction Street Main
- On Site wells



Junction Street Potential Development Locations

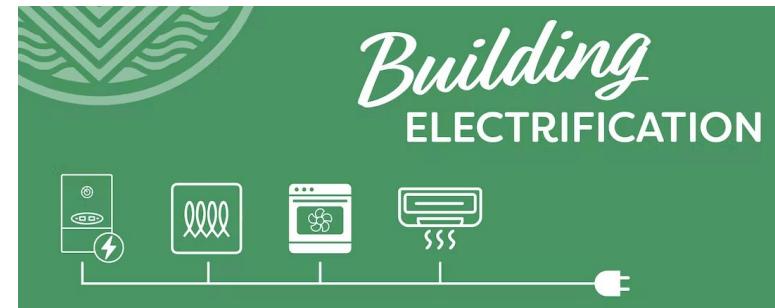
- **ID Developable locations**



Pulte Sustainability

Electrification

- * All electric buildings (NO fossil fuels)
- * Electric heat pumps and electric hot water heaters
- * Electric Vehicle Charging Stations



Energy Efficiency

* Continuous wall insulation	* SHGC windows
* 2x6 exterior wall framing	* LED lighting
* Kraft Batt exterior wall insulation	* Energy saving smart thermostats
* Blown fiberglass attic insulation	* Modeled and tested by a 3 rd party-energy rater
* Weatherized seal of all exterior walls	* Low-flow fixtures in bathrooms and kitchens
* HVAC duct air sealing package	

Protection and Expansion of Natural Environment

- * Site design that respects and preserves sensitive natural resource areas
- * Low impact development BMPs

Pulte Renderings





Thank You



Q & A