



Pulte Homes of New England

Junction Street, Dover



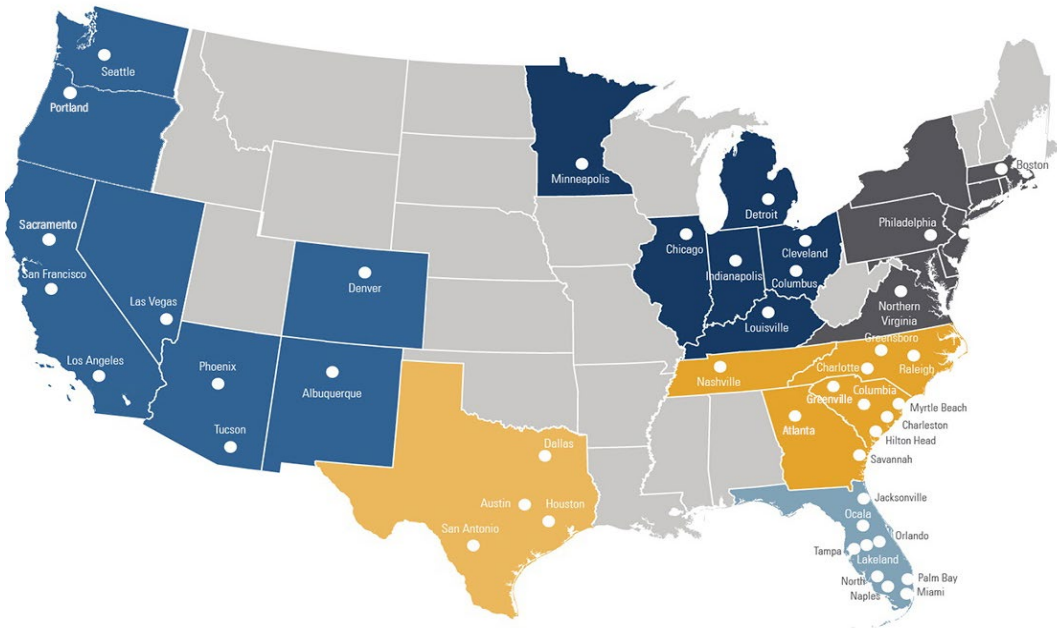
PulteGroup Overview

- Unmatched Experience
- National Homebuilder
- Diverse Product and Buyer
- Robust Financing Capabilities

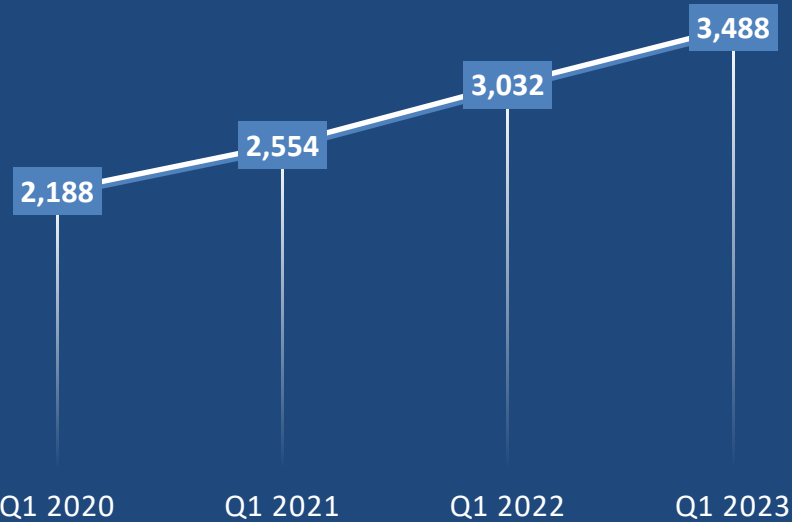
Pulte Brands



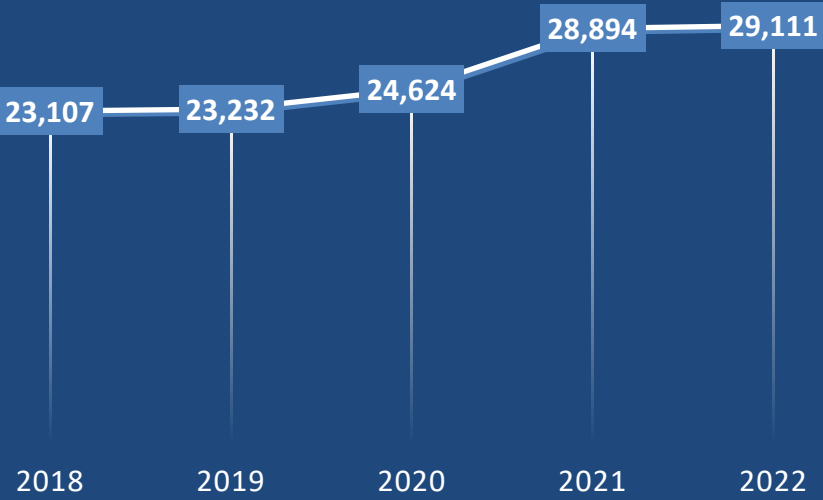
Pulte Geographical Presence



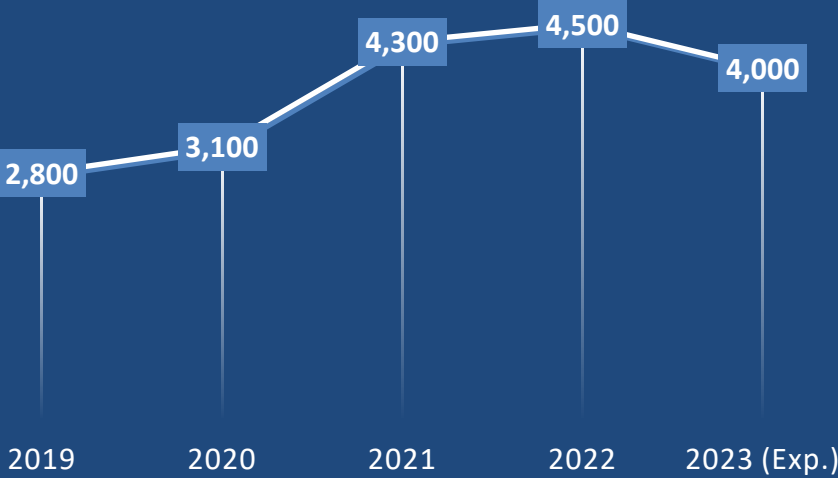
HOME SALE REVENUES (\$M)



HOME CLOSINGS



ACQUISITION & DEVELOPMENT SPEND (\$M)



Pulte Homes of New England

- Largest For-Sale Homebuilder in New England
- 25+ Years of Experience in the Market
- Delivered Over 8,100 Housing Units
- Local Internal Team to Take Project from Start-to-Finish
- Capability to Complete Large-Scale Complex Projects

#	Community	Details
1	Riverside Woods (Andover)	200 Homes - 62+ Community; SF and 4-story lowrise buildings
2	Martins Landing (North Reading)	502 Homes - 55+ Community; 4 and 5-story lowrise buildings
3	Pennington Crossing (Walpole)	186 Homes - 55+ Community; 4-story lowrise buildings
4	Upton Ridge (Upton)	139 Homes - 55+ Community; THs
5	Chauncy Lake (Westborough)	700 Homes - 55+ Community; 4-story lowrise buildings
6	Woodland Hill (Grafton)	46 Homes - SF detached homes
7	Winslow Point (Grafton)	105 Homes - THs and 4-story lowrise buildings
8	Highland at Vale (Woburn)	197 Homes - THs and 4-story lowrise buildings
9	Emery at Cold Brook Crossing (Sudbury)	81 Homes - 55+ Community; THs and 4-story lowrise buildings
10	Preston at Cold Brook Crossing (Sudbury)	92 Homes - THs



Project Team



Civil/General Engineering and Landscape Architecture



Natural Resource Evaluation, Identification, and Analysis



Transportation Impact Analysis

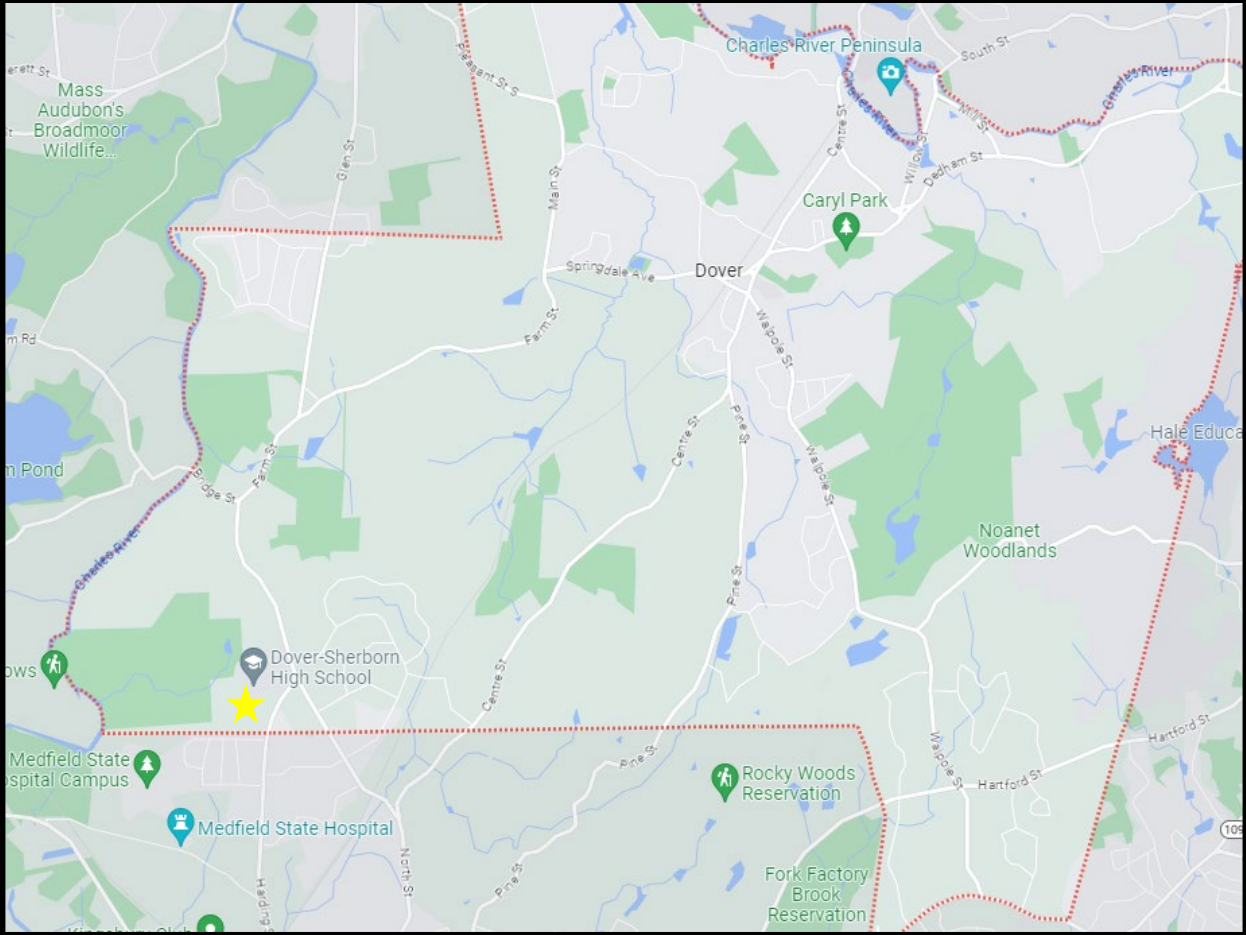
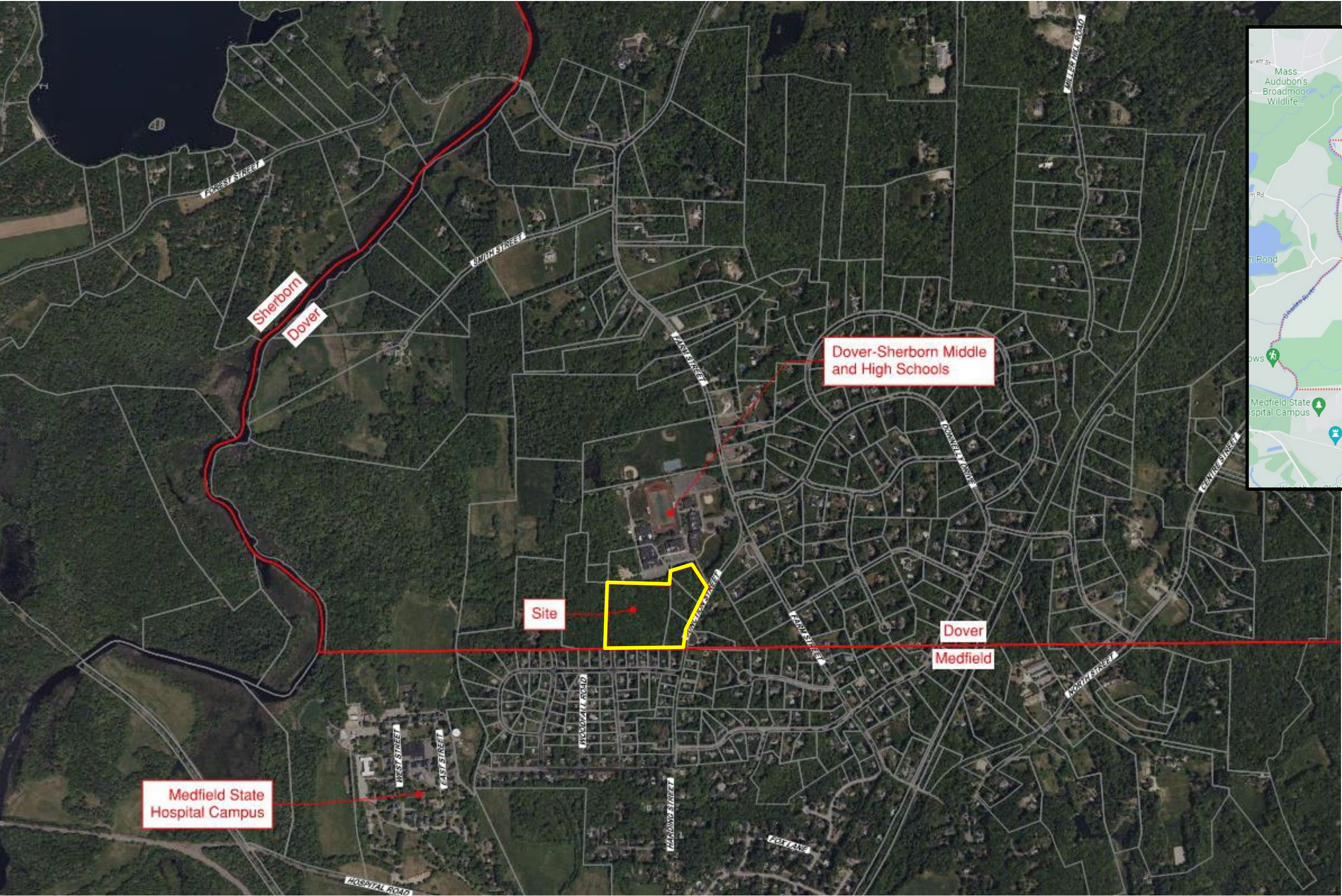


Legal Services



Utility Infrastructure Analysis and Design

Junction Street Property



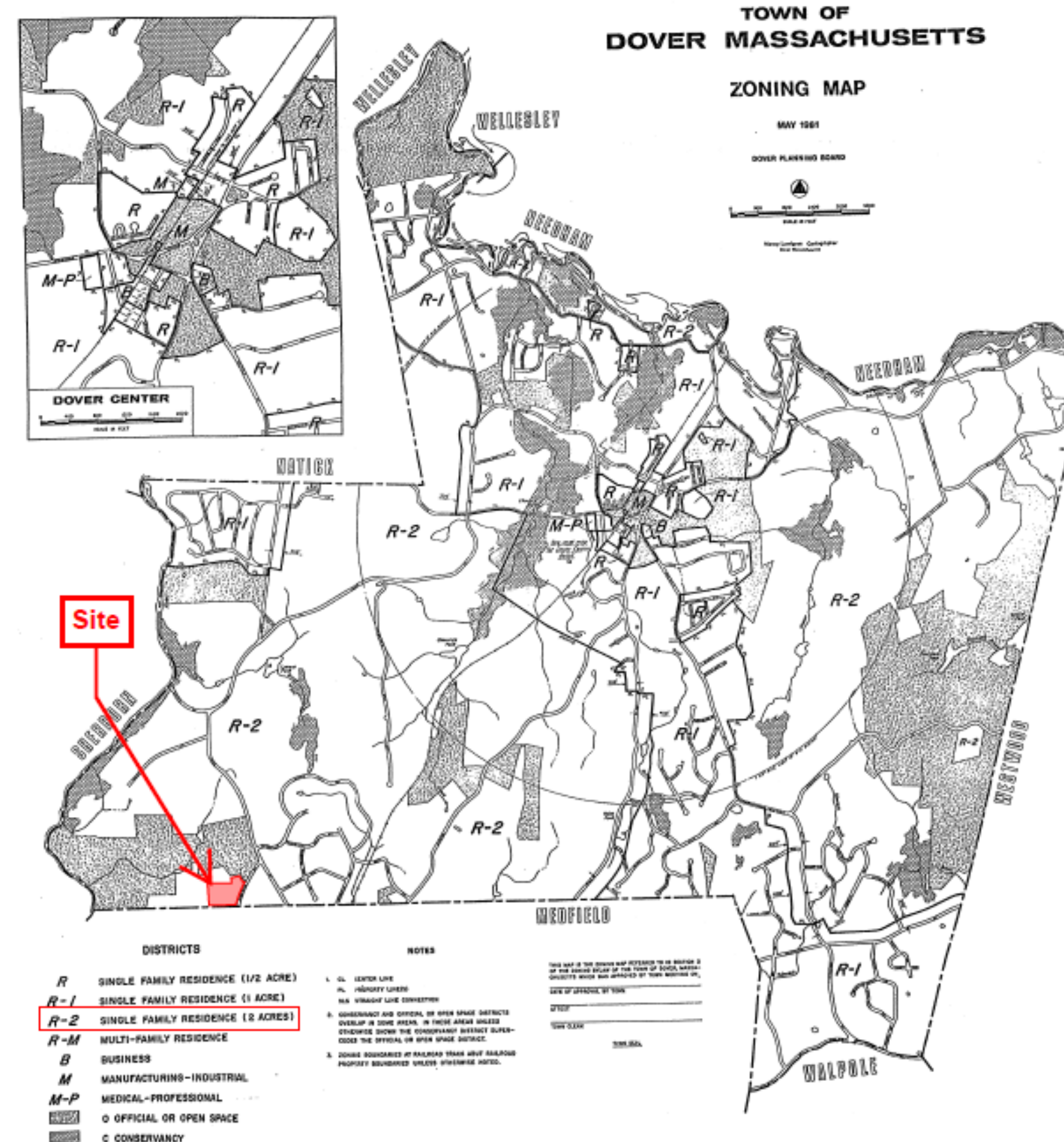
Junction Street Zoning

EXISTING ZONING

- **R-2 Single-Family (2 acres)**
- **Multifamily allowed under Special Permit and Site Plan Review w/Planning Board**

POTENTIAL DEVELOPMENT STRATEGIES

- **Chapter 40B**
- **MBTA Zoning**
- **New Overlay Zoning (Multifamily/Age-Restricted)**



Dover Housing Goals

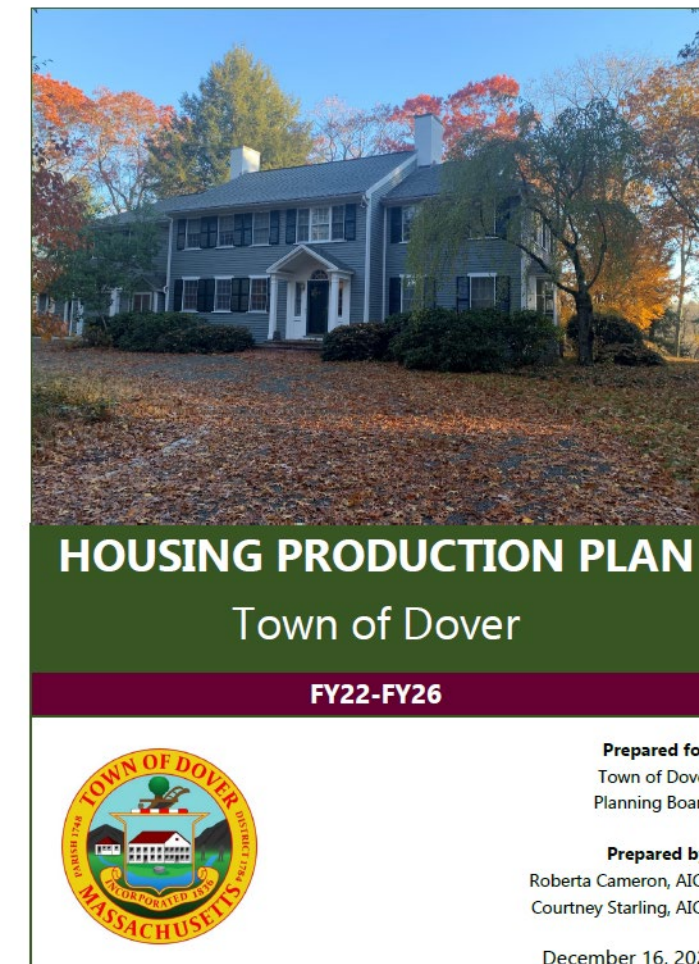
HOUSING PRODUCTION GOALS

- Work to meet the 40B Housing Targets to reach and maintain “safe harbor” certification, eventual 10% affordability, and then continue to promote initiatives to address local housing needs.
- Promote a welcoming, diverse, intergenerational, and inclusive community with a mix of housing opportunities...
- Foster safe, well-designed, and sustainable housing.
- Integrate affordable and diverse housing options at a scale and in character with the built environment.
- Create viable options for older adults to remain in Dover as their housing needs change.
- Create entry level housing opportunities.
- Minimize impacts of new development on priority areas for open space, conservation, and natural resource protection.
- Prioritize the production of permanently affordable units.

Dover Housing Production Plan

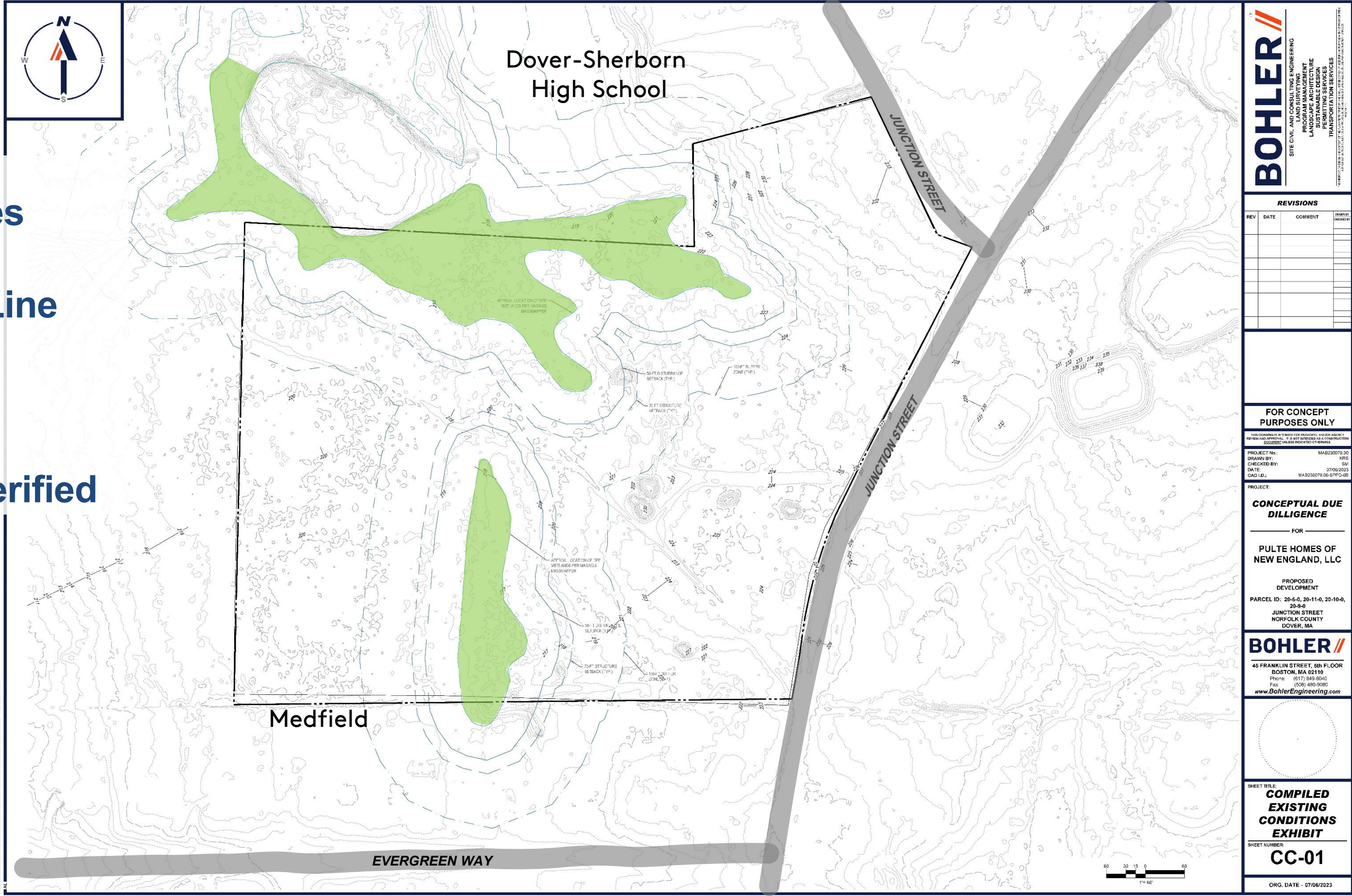
Needs Analysis

June 21, 2021



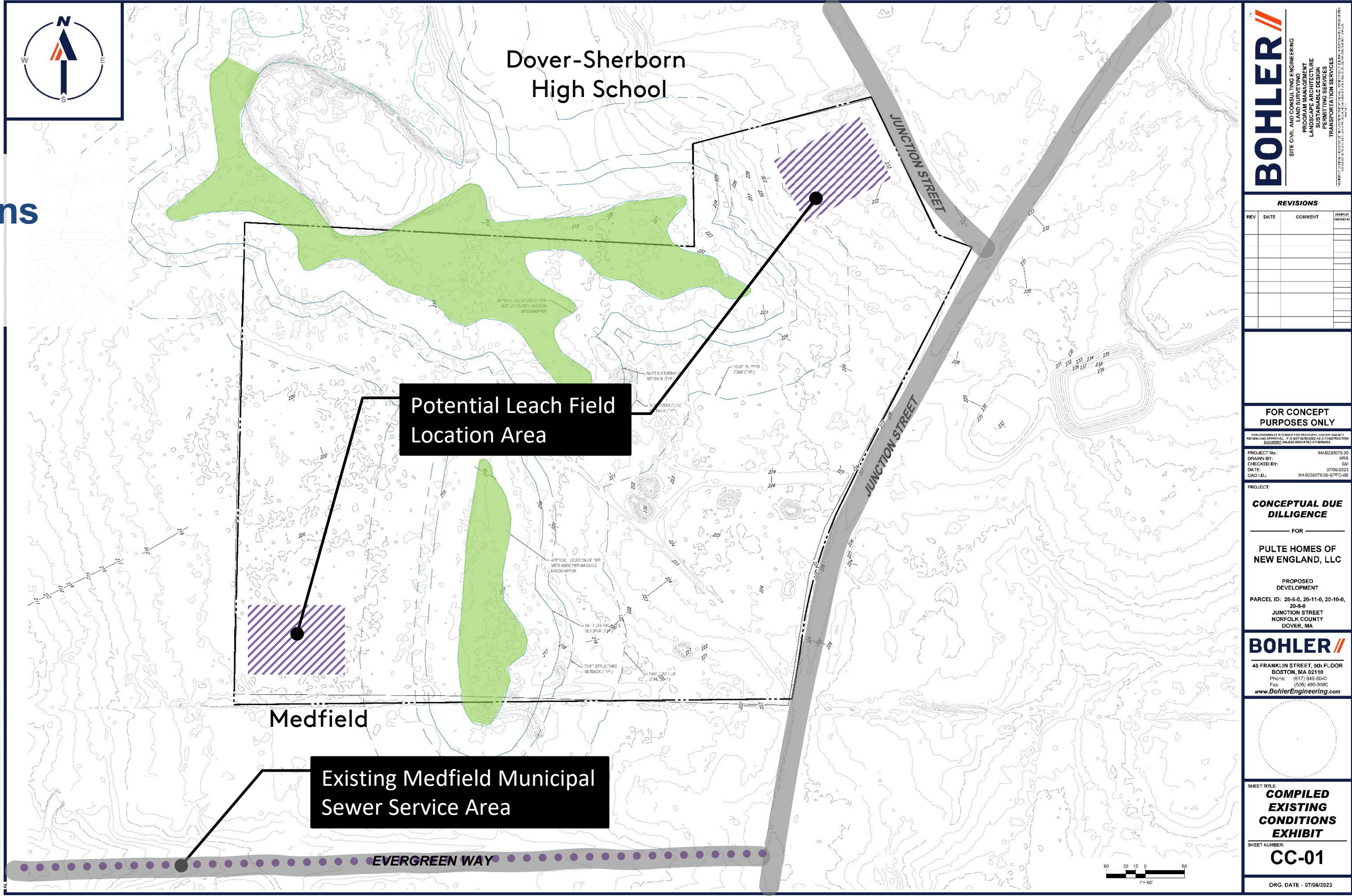
Junction Street Site Characteristics

- Approximately 17 total acres
- Between HS and Medfield Line
- Fairly flat wooded site
- Wetland areas to be field verified



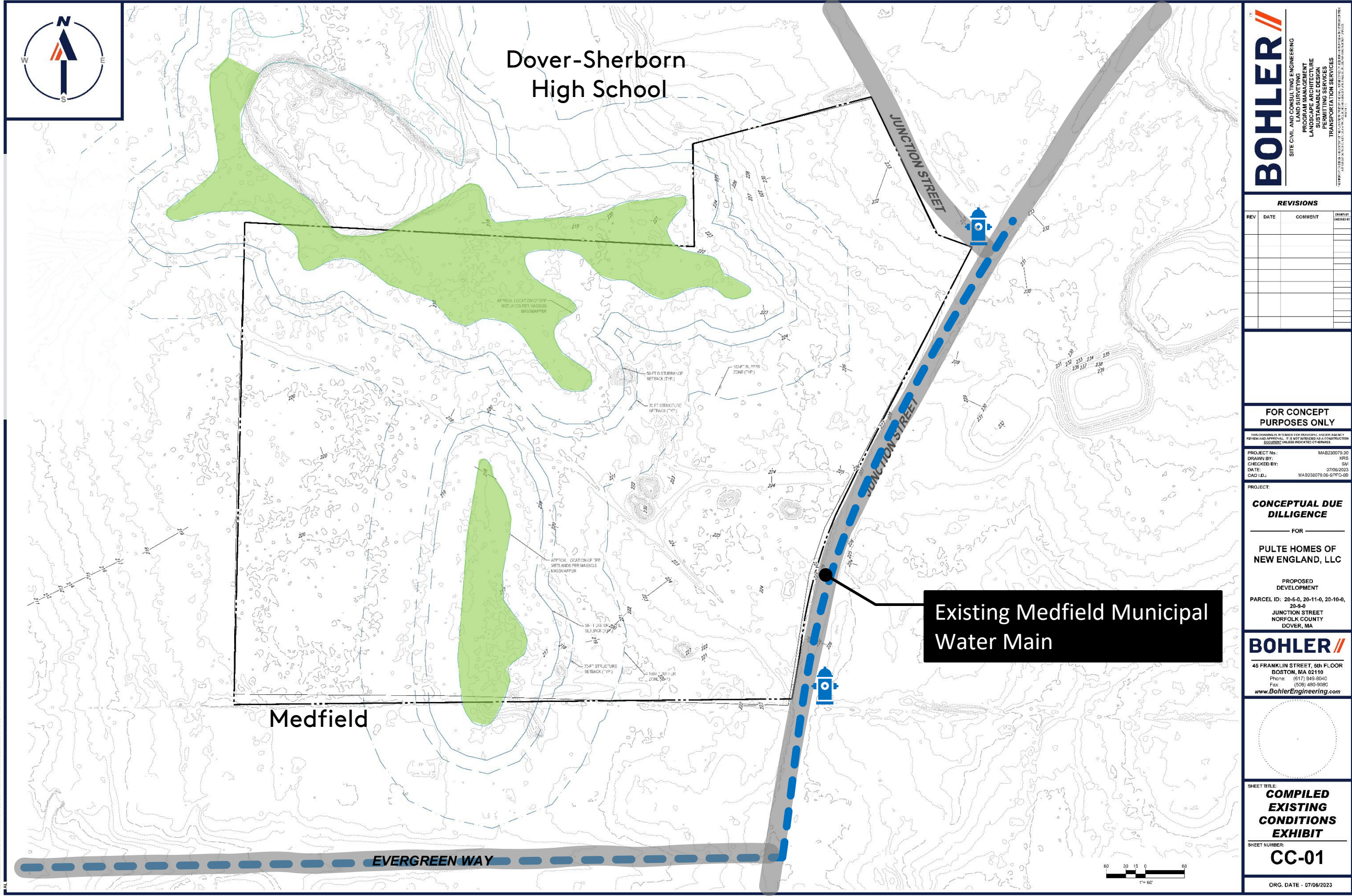
Junction Street Site Characteristics

- Potential leach field locations
- Other Sewer Options

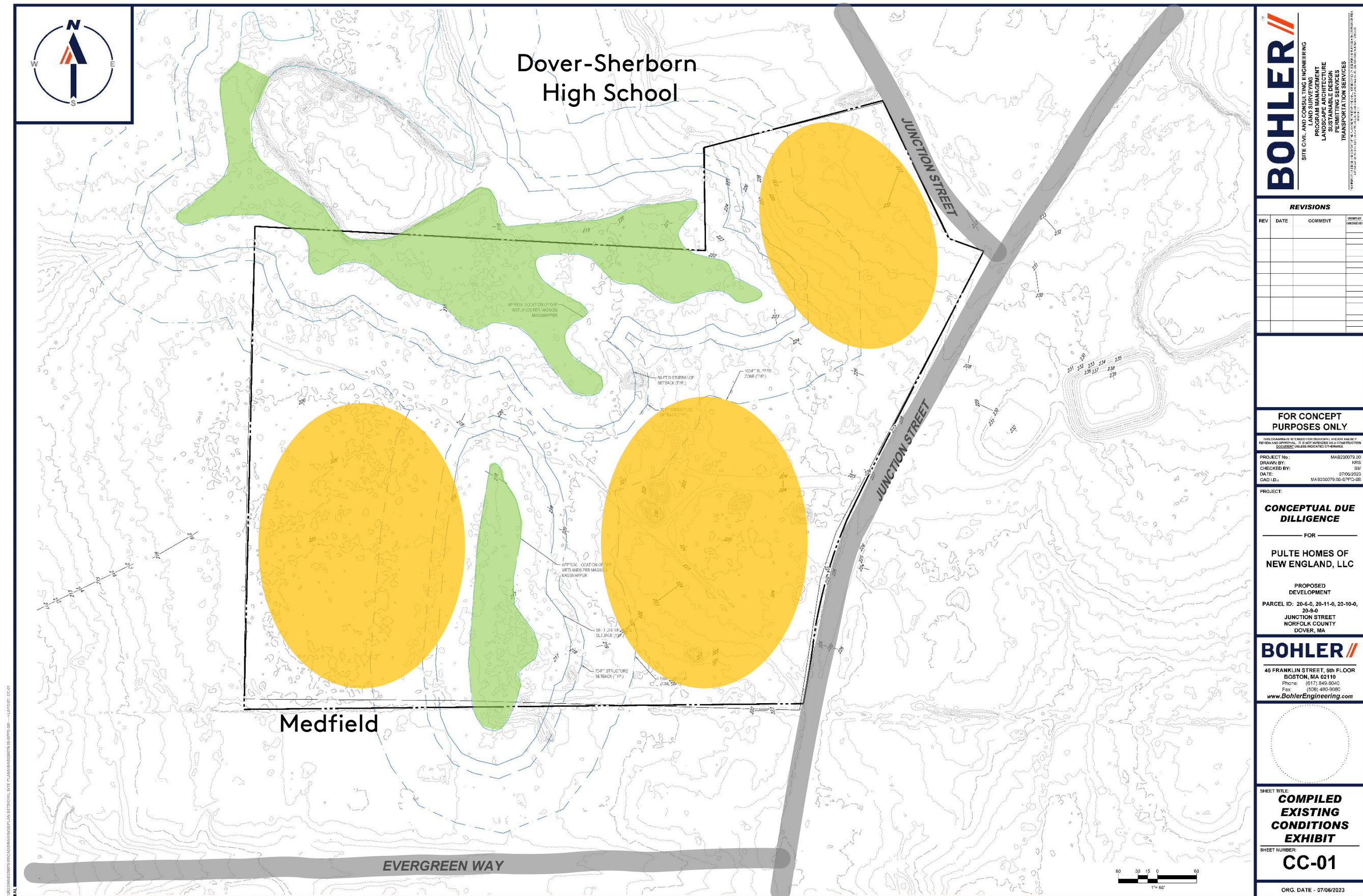


Junction Street Site Characteristics

- Site Water Options
- Junction Street Main
- On Site wells



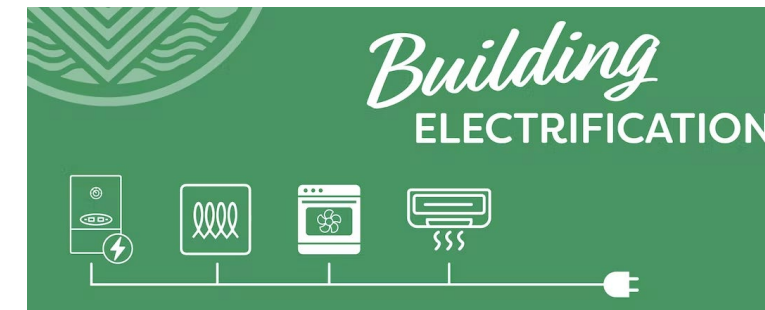
- **ID Developable locations**



Pulte Sustainability

Electrification

- * All electric buildings (NO fossil fuels)
- * Electric heat pumps and electric hot water heaters
- * Electric Vehicle Charging Stations



Energy Efficiency

- * Continuous wall insulation
- * 2x6 exterior wall framing
- * Kraft Batt exterior wall insulation
- * Blown fiberglass attic insulation
- * Weatherized seal of all exterior walls
- * HVAC duct air sealing package
- * SHGC windows
- * LED lighting
- * Energy saving smart thermostats
- * Modeled and tested by a 3rd party-energy rater
- * Low-flow fixtures in bathrooms and kitchens

Protection and Expansion of Natural Environment

- * Site design that respects and preserves sensitive natural resource areas
- * Low impact development BMPs

Pulte Renderings





Thank You

