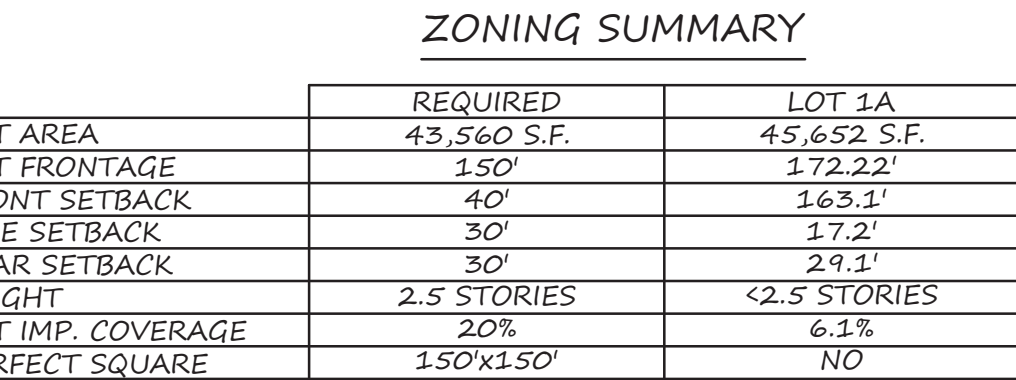
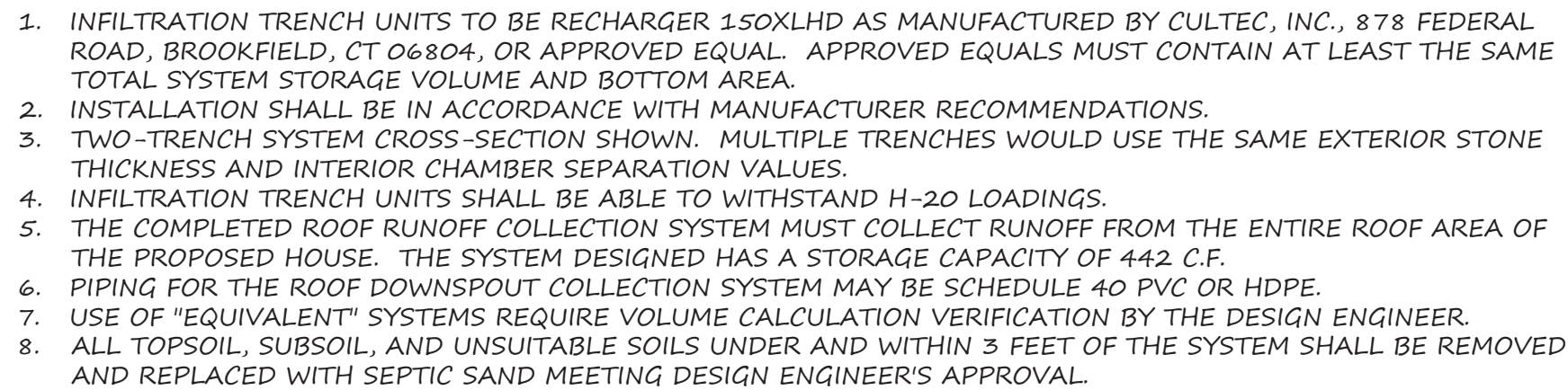


[illegible]

1. UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
2. EXISTING SEPTIC AND WELL LOCATIONS ON ADJOINING PROPERTIES FROM RECORD INFORMATION AT THE BOARD OF HEALTH.
3. TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING, INC. OFF-SITE AND WETLAND AREA TOPOGRAPHICAL DATA FROM MASSGIS LIDAR DATA. DATUM: NAVD 88
4. WETLAND FLAGS AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
5. ELEVATION AND FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM A FLOOD ELEVATION STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.

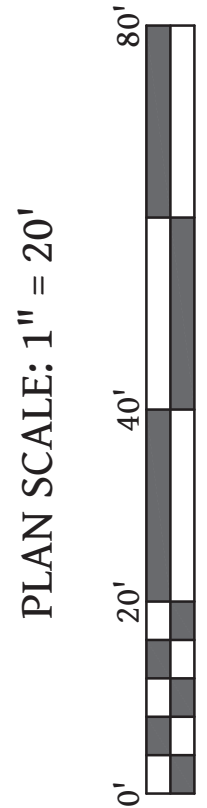
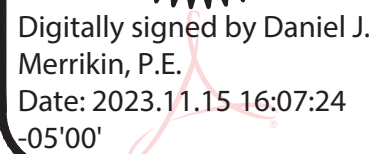


1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
3. SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
4. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.



NOT TO SCALE

PLAN REFERENCE
LAND COURT PLAN 30520A

[illegible]

DOVER HOMES
LOT 1A
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

LEGACY
ENGINEERING

LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
CB: DOUBLE-GRATE CATCH BASIN
OPTU xxx: PROPRIETARY STORMWATER UNIT
DMH: DRAIN MANHOLE
TR. DR.: TRENCH DRAIN
INFIL. TR.: INFILTRATION TRENCH
X" D: DRAIN PIPELINE
RCP: REINFORCED CONCRETE PIPE
PVC: POLYVINYL CHLORIDE PIPE
OSMH: SEWER MANHOLE
X" S: SEWER PIPELINE
C.O.: SEWER SERVICE CLEANOUT
X" W: WATER MAIN
HYD. HYDRANT
I.G.V.: WATER GATE VALVE
C.S.: WATER SERVICE CURB STOP
M.B.: WATER SERVICE METER BOX
G: GAS PIPELINE
E: ELECTRIC CONDUIT
L.P.: LIGHT POLE
U.P.: UTILITY POLE
G.Y.: GUY WIRE
S.P.: TRAFFIC SIGNAL POLE
252: EXISTING CONTOUR
252: PROPOSED CONTOUR
E.O.P.: EDGE OF PAVEMENT
C.B.B.: INTEGRAL SLOPED BIT. BERM
V.B.B.: VERTICAL BITUMINOUS BERM
S.G.C.: SLOPED GRANITE CURB
V.G.C.: VERTICAL GRANITE CURB
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G.V.: GATE VALVE
C.L.F.: CHAIN LINK FENCE
W.S.F.: WOOD STOCKADE FENCE
P.P.F.: PVC PICKET FENCE
G.R.: GUARD RAIL
C.C.: HANDICAP CURB CUT

EXISTING CONDITIONS NOTES:

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- SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

ZONING SUMMARY

LOT AREA	REQUIRED	LOT 2A
43,560 S.F.	43,560 S.F.	46,934 S.F.
LOT FRONTAGE	150'	210.00'
FRONT SETBACK	40'	32.0'
SIDE SETBACK	30'	29.1'
REAR SETBACK	30'	119.0'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT COVERAGE	20%	6.2%
PERFECT SQUARE	150'x150'	YES

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II (PARTIALLY)
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2023.11.15 16:07:08
05'00'

PLAN SCALE: 1" = 20'

PLAN DATE: JUNE 7, 2023

REVISION
DATE
BY
D.J.M.

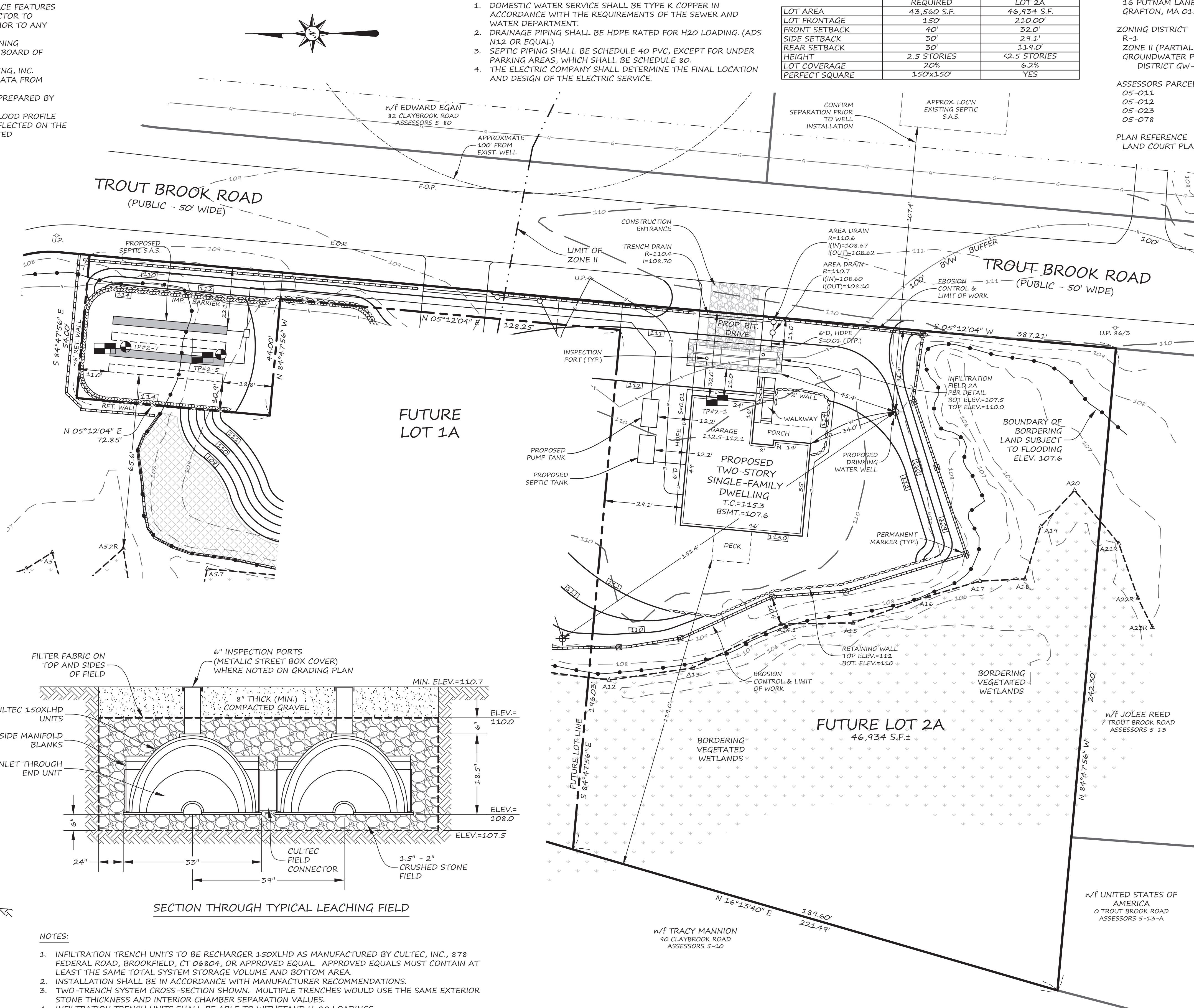
DOVER HOMES
LOT 2A
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-2



FIELD PLAN VIEW

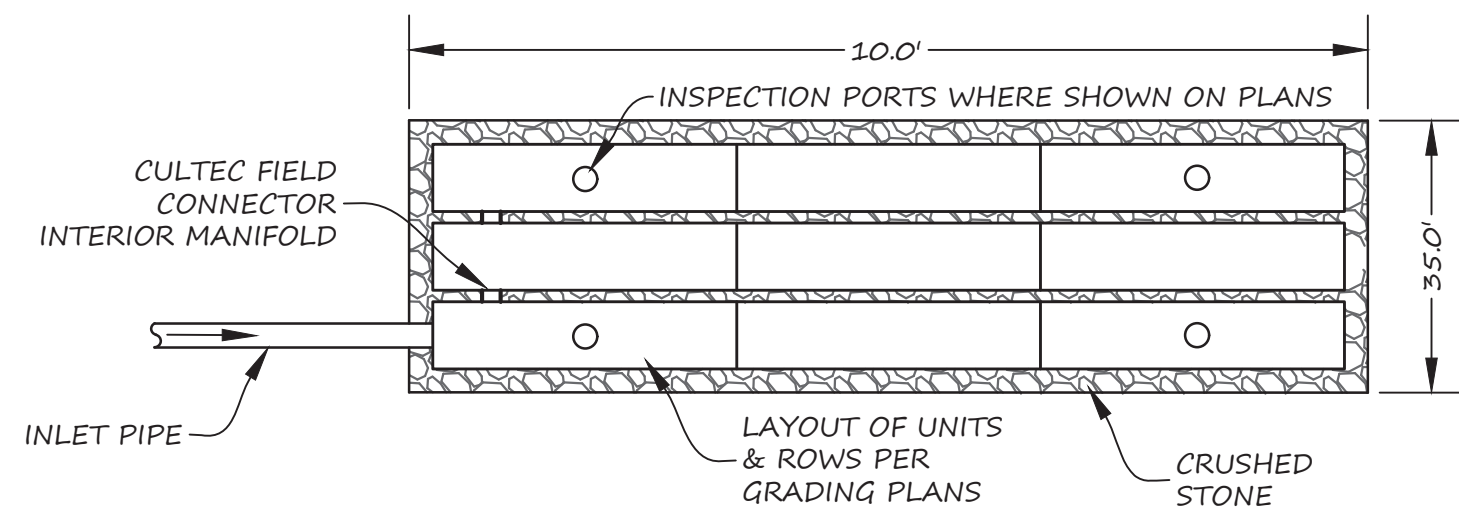
SECTION THROUGH TYPICAL LEACHING FIELD

NOTES:

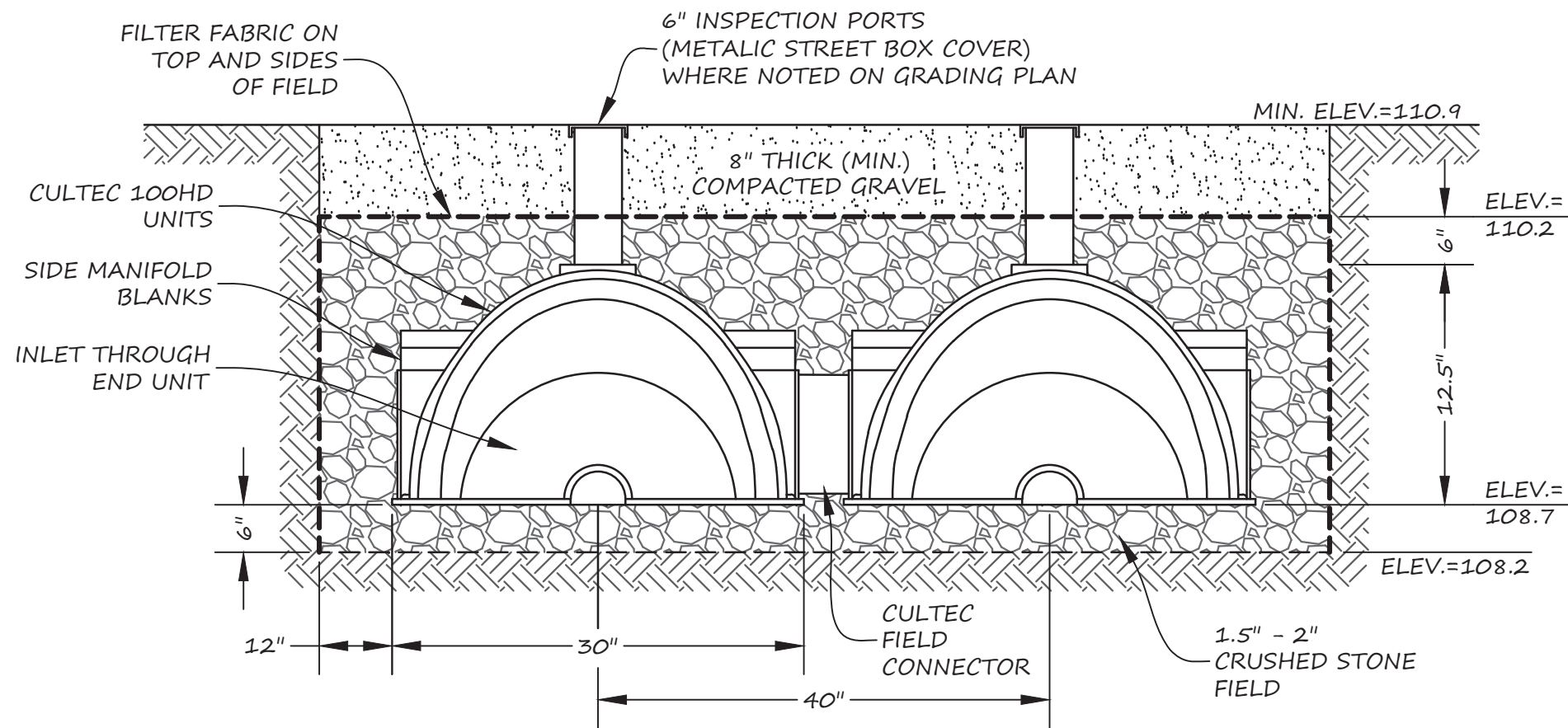
- INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTREC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
- THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 461 C.F.
- PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
- USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
- ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE



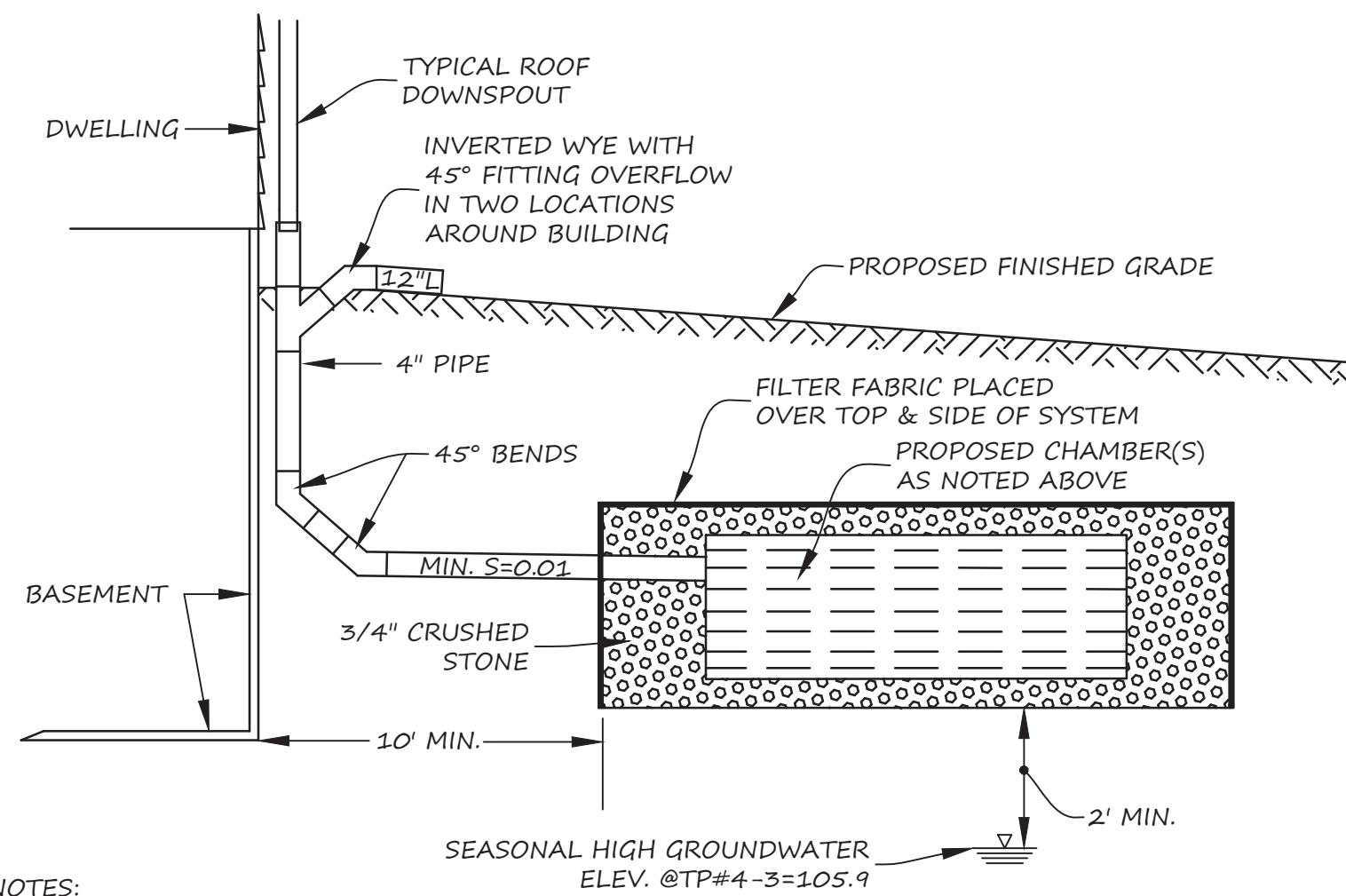
FIELD PLAN VIEW



SECTION THROUGH TYPICAL LEACHING FIELD

ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE



NOTES:

1. INFILTRATION TRENCH UNITS TO BE RECHARGER 100HD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
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3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 375 C.F.
6. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
7. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
8. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ZONING SUMMARY		
LOT AREA	REQUIRED	LOT 4
LOT FRONTAGE	43.360 S.F.	56.650 S.F.
FRONT SETBACK	150'	157.68'
SIDE SETBACK	40'	32.0'
REAR SETBACK	30'	58.4'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT COVERAGE	20%	6.6%
PERFECT SQUARE	150'x150'	YES

EXISTING CONDITIONS NOTES:

1. UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
2. EXISTING SEPTIC AND WELL LOCATIONS ON ADJOINING PROPERTIES FROM RECORD INFORMATION AT THE BOARD OF HEALTH.
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OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL

05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A

LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
- CB: DOUBLE-GRATE CATCH BASIN
- OPTU xxx: PROPRIETARY STORMWATER UNIT
- ODMH: DRAIN MANHOLE
- TR. DR.: TRENCH DRAIN
- INFIL. TR.: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- OSMH: SEWER MANHOLE
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- Q.C.D.: SEWER SERVICE CLEANOUT
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- C.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
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- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2023.11.15 16:06:48
05'00'

PLAN SCALE: 1" = 20'

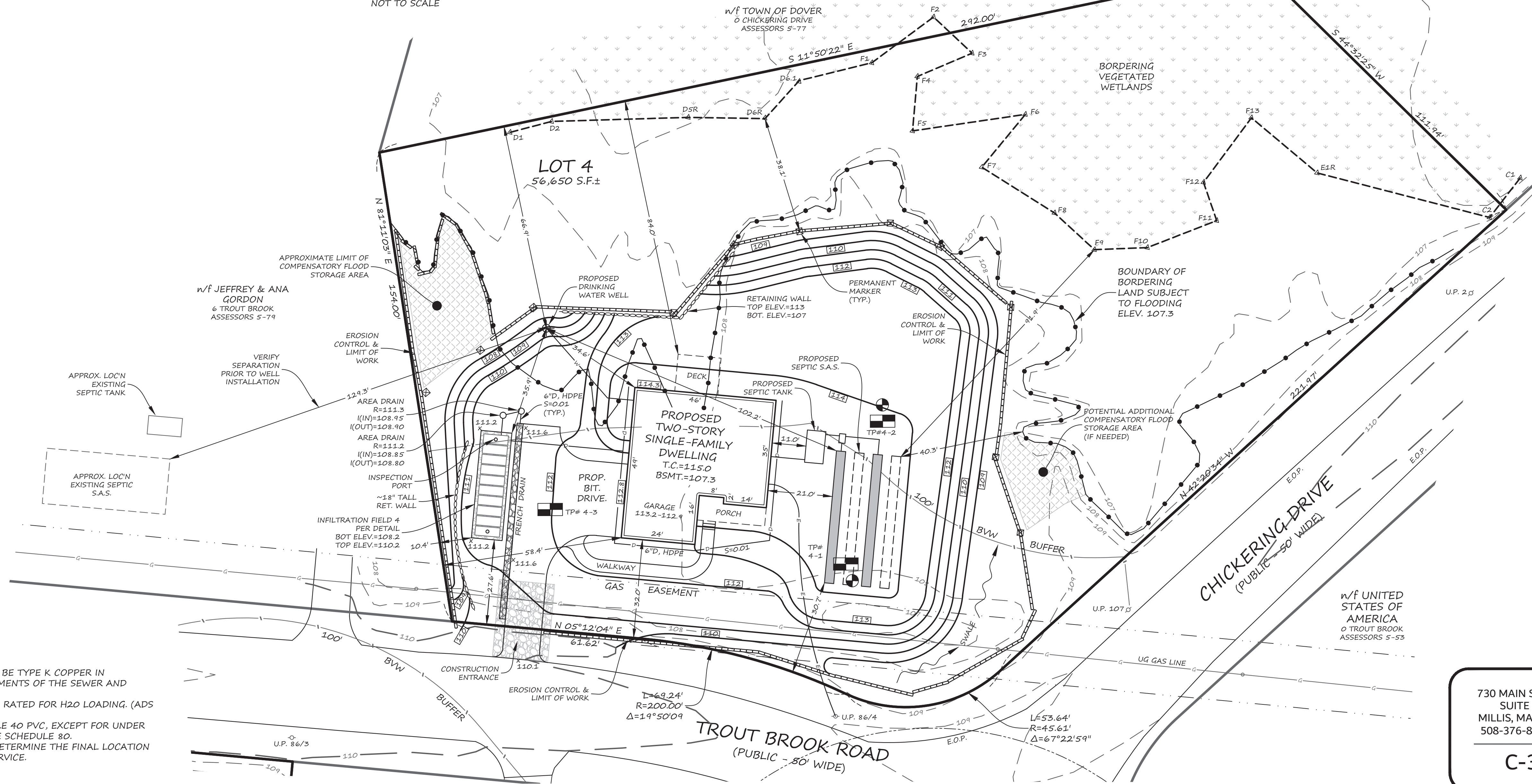
PLAN DATE: JUNE 7, 2023

REVISION	DATE	BY
DESIGN INFORMATION	2023-11-15	D.J.M.

DOVER HOMES
LOT 4
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
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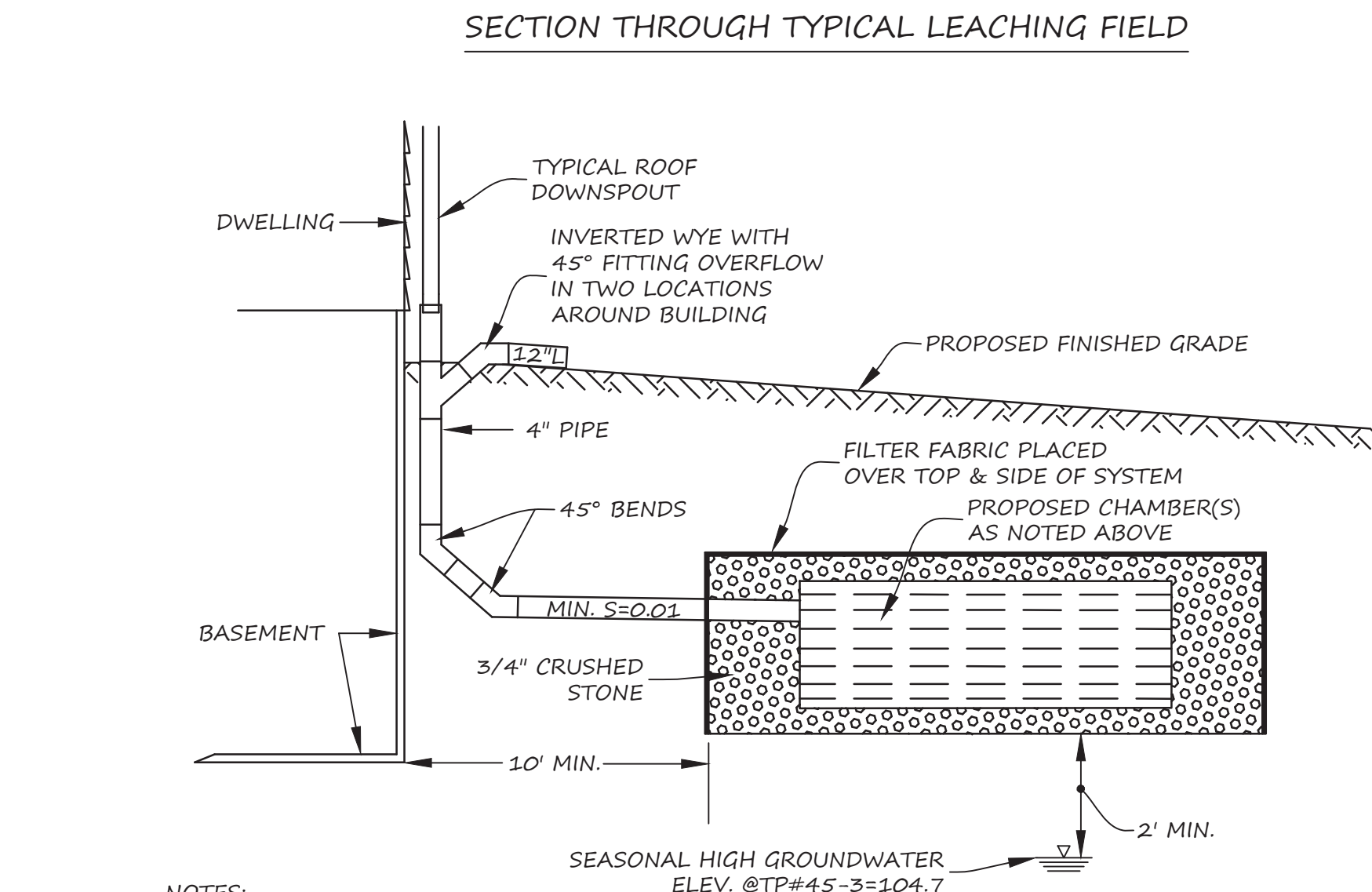
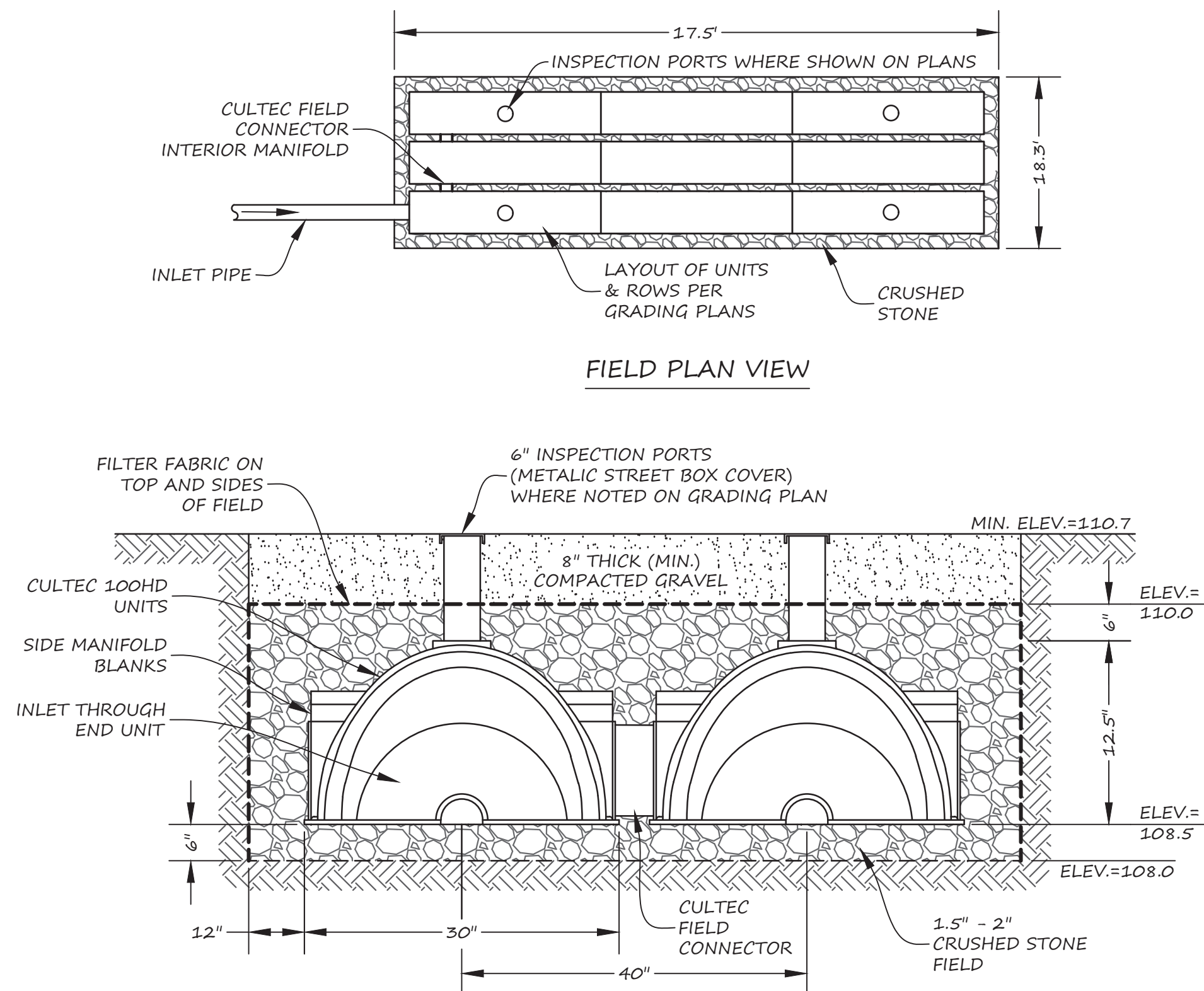


730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-3



LEGACY
ENGINEERING



- NOTES:
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ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE

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- WCS: WATER SERVICE CURB STOP
- WMB: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- LP: LIGHT POLE
- UP: UTILITY POLE
- GUY: GUY WIRE
- SP: TRAFFIC SIGNAL POLE
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- E.O.P.: EDGE OF PAVEMENT
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RIVERFRONT AREA:

- RIVERFRONT AREA:
 - TOTAL: 41,299 S.F.
 - INNER: 29,486 S.F.
 - OUTER: 11,813 S.F.
- DISTURBED RIVERFRONT AREA:
 - TOTAL: 17,106 S.F. (41% OF TOTAL RA)
 - INNER: 8,492 S.F. (29% OF TOTAL INNER RA)
 - OUTER: 8,614 S.F. (73% OF TOTAL OUTER RA)
- COMPENSATORY FLOOD STORAGE AREA EXCLUDED

ZONING SUMMARY

LOT AREA	REQUIRED	LOT 45
LOT FRONTAGE	150'	59,429 S.F.
FRONT SETBACK	40'	285.00'
SIDE SETBACK	30'	21.1'
REAR SETBACK	30'	90.3'
HEIGHT	2.5 STORIES	120'±
LOT COVERAGE	20%	6.1%
PERFECT SQUARE	150'x150'	YES
% IN CONSERV. DIST.	25% MAX	7.0%

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II
GROUNDWATER PROTECTION
DISTRICT GW-1
CONSERVANCY DISTRICT
(PARTIALLY)

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520F



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2023.11.15 16:06:24 -05'00'



PLAN SCALE: 1" = 20'

PLAN DATE: JUNE 7, 2023

REVISION
DATE
BY
J.M.

DOVER HOMES
LOT 45
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING