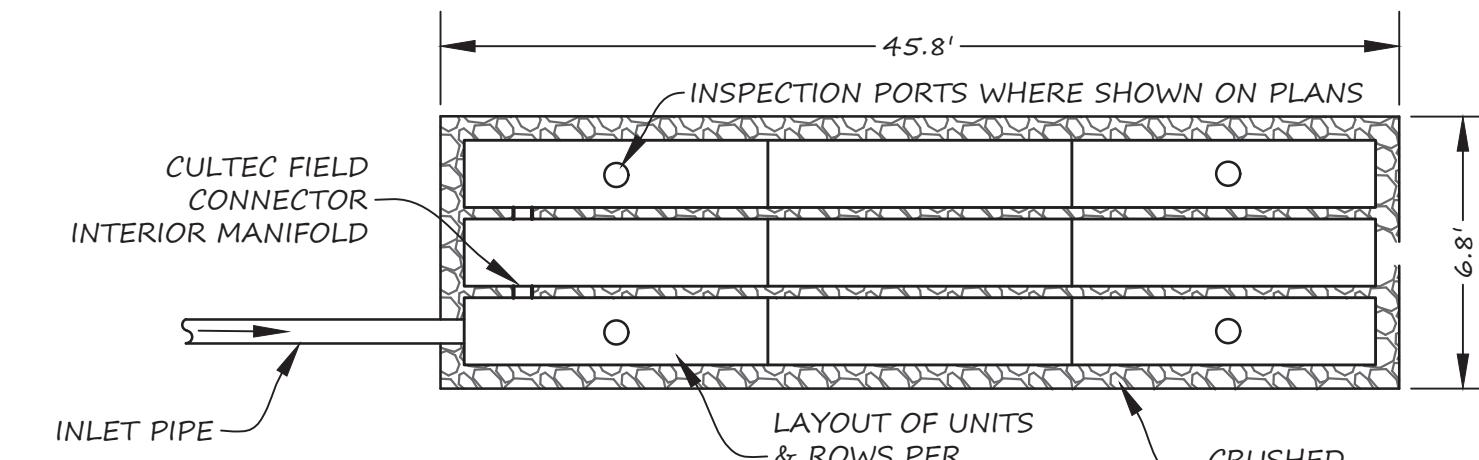
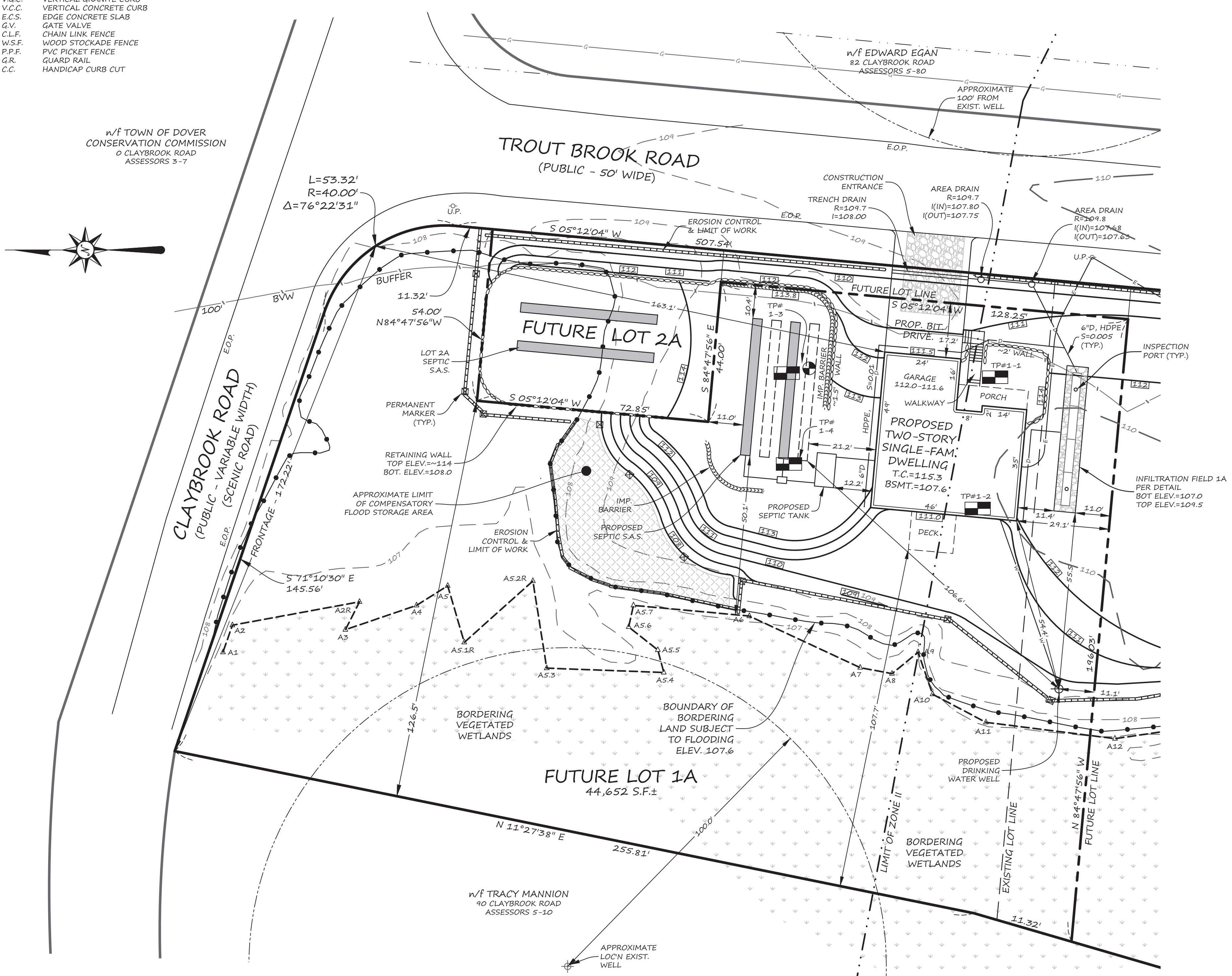


### LEGEND & ABBREVIATIONS

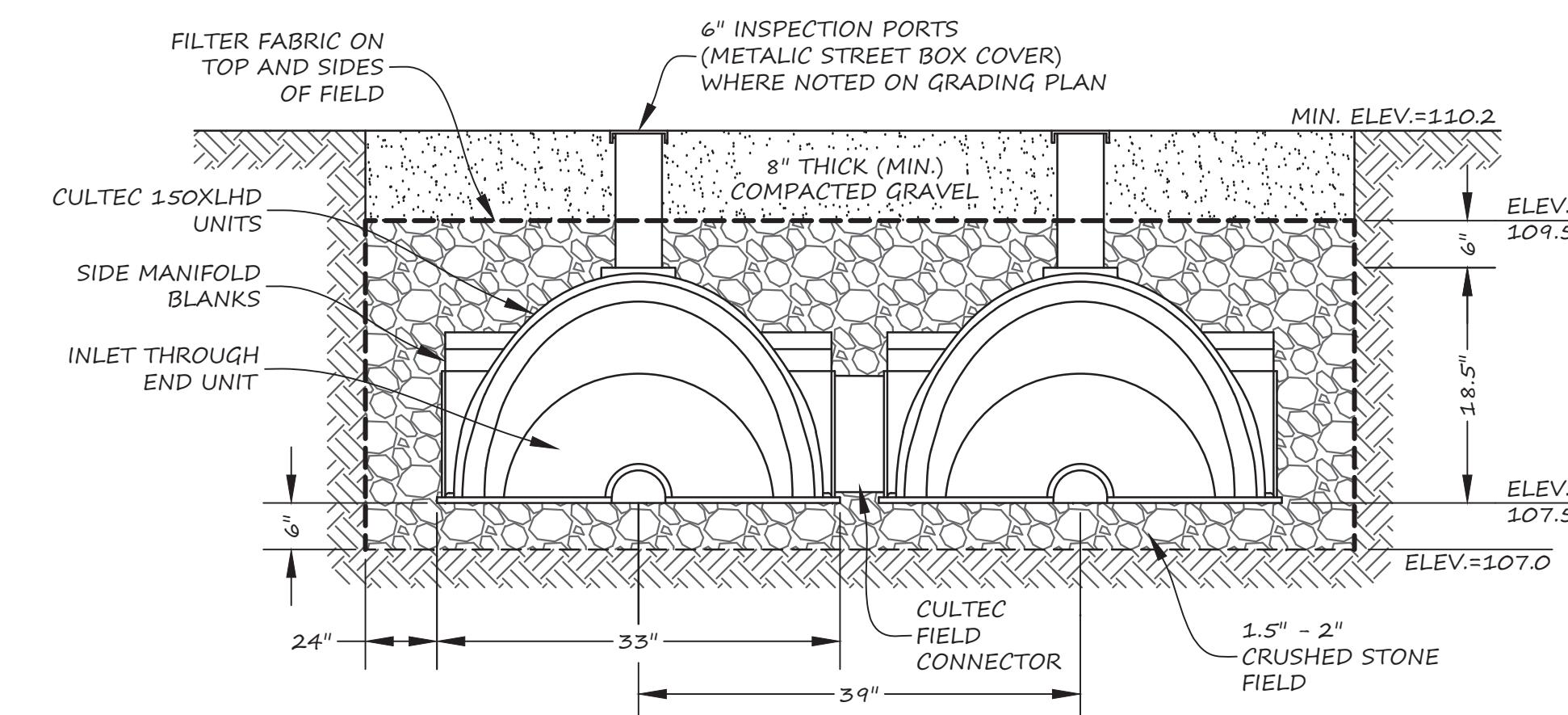
CB: SINGLE-GRAVE CATCH BASIN
CB: DOUBLE-GRAVE CATCH BASIN
ODMH: DRAIN MANHOLE
TR. DR.: TRENCH DRAIN
INFIL. TR.: INFILTRATION TRENCH
— X — DRAIN PIPELINE
— RCP: POLYURETHANE CONCRETE PIPE
PVC: POLYVINYL CHLORIDE PIPE
OSMH: SEWER MANHOLE
— X — S: SEWER PIPELINE
— X — W: WATER MAIN
XH: HYDRANT
1.G.V.: WATER GATE VALVE
○ C.S.: WATER SERVICE CURB STOP
○ M.B.: WATER SERVICE METER BOX
— G: GAS PIPELINE
— L.P.: LIGHT POLE
○ U.P.: UTILITY POLE
○ G.Y.: GUY WIRE
△ S.P.: TRAFFIC SIGNAL POLE
252: EXISTING CONTOUR
252: PROPOSED CONTOUR
E.O.P.: EDGE OF PROPERTY
O.C.B.: INTEGRAL SLOPED BIT. BERM
V.B.B.: VERTICAL BITUMINOUS BERM
S.G.C.: SLOPED GRANITE CURB
V.G.C.: VERTICAL GRANITE CURB
V.C.C.: VERTICAL CONCRETE CURB
E.C.S.: EDGED CONCRETE SLAB
G.V.: GATE VALVE
CL.F.: CHAIN LINK FENCE
W.S.F.: WOOD STOCKADE FENCE
P.P.F.: PVC PICKET FENCE
G.R.: GUARD RAIL
C.C.: HANDICAP CURB CUT

### EXISTING CONDITIONS NOTES:

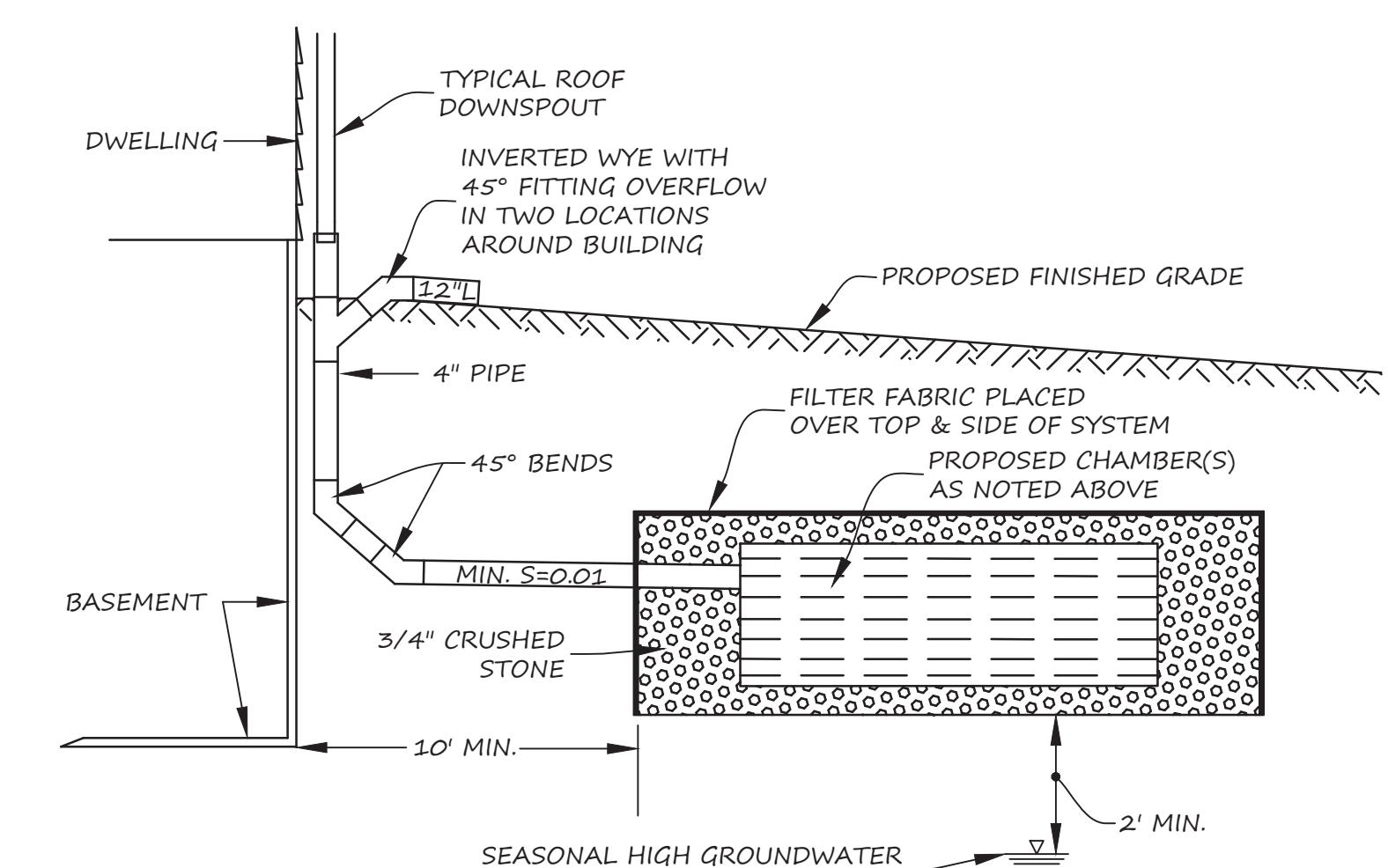
1. UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
2. EXISTING SEPTIC AND WELL LOCATIONS ON ADJOINING PROPERTIES FROM RECORD INFORMATION AT THE BOARD OF HEALTH.
3. TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING, INC. OFF-SITE AND WETLAND AREA TOPOGRAPHICAL DATA FROM MASSGIS LIDAR DATA, DATUM: NAVD 88
4. WETLAND FLAGS AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
5. FEMA 100-YEAR FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM THE FLOOD INSURANCE STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.



FIELD PLAN VIEW



SECTION THROUGH TYPICAL LEACHING FIELD



NOTES:

1. INFILTRATION TRENCH UNITS TO BE RECHARGED 150X1HD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 442 C.F.
6. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
7. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
8. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ROOF RUNOFF INFILTRATION FIELD  
NOT TO SCALE

OWNER & APPLICANT  
ROBERT W RECHIA  
16 PUTNAM LANE  
GRAFTON, MA 01519

ZONING DISTRICT  
R-1  
ZONE II (PARTIALLY)  
GROUNDWATER PROTECTION  
DISTRICT GW-1

ASSESSORS PARCEL  
05-011  
05-012  
05-023  
05-078

PLAN REFERENCE  
LAND COURT PLAN 30520A



Digitally signed by Daniel J.  
Merrin, P.E.  
Date: 2023.11.15 16:07:24  
5'00"

PLAN SCALE: 1" = 20'

PLAN DATE: JUNE 7, 2023  
REVISION  
REvised Design Information  
BY  
D.J.M.

DOVER HOMES  
LOT 1A  
PRELIMINARY SITE  
PLAN OF LAND IN  
DOVER, MA

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

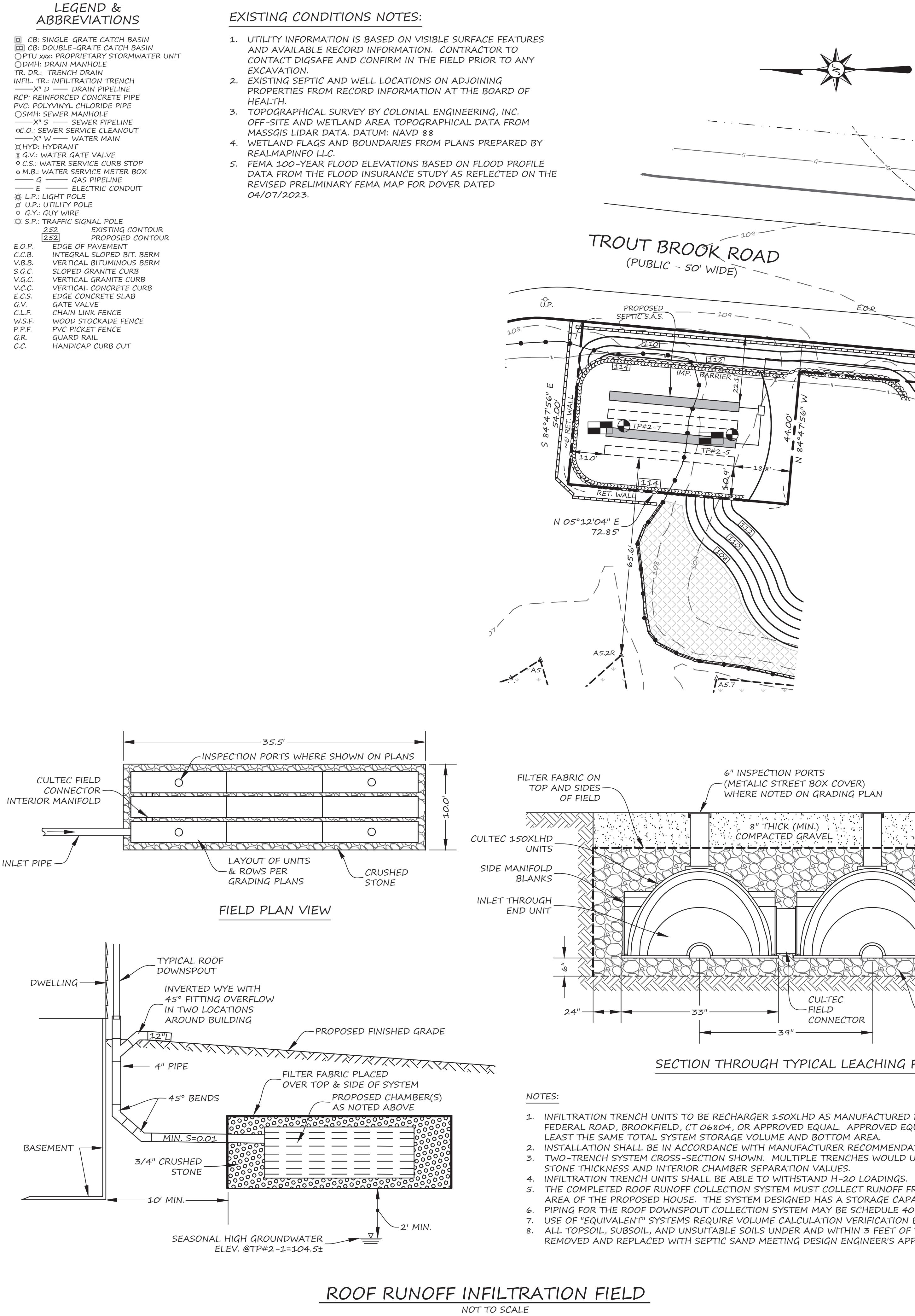


### LEGEND & ABBREVIATIONS

CB: SINGLE-GRADE CATCH BASIN
CB: DOUBLE-GRADE CATCH BASIN
OPT: X-PERFORATED STORMWATER UNIT
OD: DRAIN MANHOLE
TR DR: TRENCH DRAIN
INFIL: TR: INFILTRATION TRENCH
X" D: DRAIN PIPELINE
RCP: REINFORCED CONCRETE PIPE
PVC: POLYVINYL CHLORIDE PIPE
OSM: SEWER METER BOX
X" W: SEWER PIPELINE
W: WATER MAIN
HYD: HYDRANT
W: WATER GATE VALVE
C.S.: WATER SERVICE CURB STOP
M.B.: WATER SERVICE METER BOX
G: GAS PIPELINE
E: ELECTRIC CONDUIT
L.P.: LIGHT POLE
U.P.: UTILITY POLE
G.Y.: GUY WIRE
S.P.: TRAFFIC SIGNAL POLE
252: EXISTING CONTOUR
252: PROPOSED CONTOUR
E.O.P.: EDGE OF PAVEMENT
C.C.B.: INTEGRAL SLOPED BIT. BERM
V.S.C.B.: VERT. SLOPED GRANITE CURB
S.G.C.: SLOPED GRANITE CURB
V.G.C.: VERTICAL GRANITE CURB
V.C.C.: VERTICAL CONCRETE CURB
E.C.S.: EDGE CONCRETE SLAB
G.V.: GUARDRAIL
CL.F.: CHAIN LINK FENCE
W.S.F.: WOOD STOCKADE FENCE
P.P.F.: PVC PICKET FENCE
G.R.: GUARD RAIL
C.C.: HANDICAP CURB CUT

### EXISTING CONDITIONS NOTES:

1. UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
2. EXISTING SEPTIC AND WELL LOCATIONS ON ADJOINING PROPERTIES FROM RECORD INFORMATION AT THE BOARD OF HEALTH.
3. TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING, INC. OFF-SITE AND WETLAND AREA TOPOGRAPHICAL DATA FROM MASSGIS LIDAR DATA DATUM: NAVD 88
4. WETLAND PLACES AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
5. FEMA 100-YEAR FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM THE FLOOD INSURANCE STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.



### UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N11 OR EQUAL)
3. SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
4. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

### ZONING SUMMARY

REQUIRED	LOT 2A
LOT AREA	43,560 S.F.
LOT FRONTAGE	150'
FRONT SETBACK	40'
SIDE SETBACK	30'
REAR SETBACK	30'
HEIGHT	2.5 STORIES
LOT COVERAGE	20%
PERFECT SQUARE	6.2%
	YES

OWNER & APPLICANT  
ROBERT W RECHIA  
16 PUTNAM LANE  
GRAFTON, MA 01519  
ZONING DISTRICT  
R-1  
ZONE II (PARTIALLY)  
GROUNDWATER PROTECTION  
DISTRICT GW-1

ASSESSORS PARCEL  
05-011  
05-012  
05-023  
05-078

PLAN REFERENCE  
LAND COURT PLAN 30520A

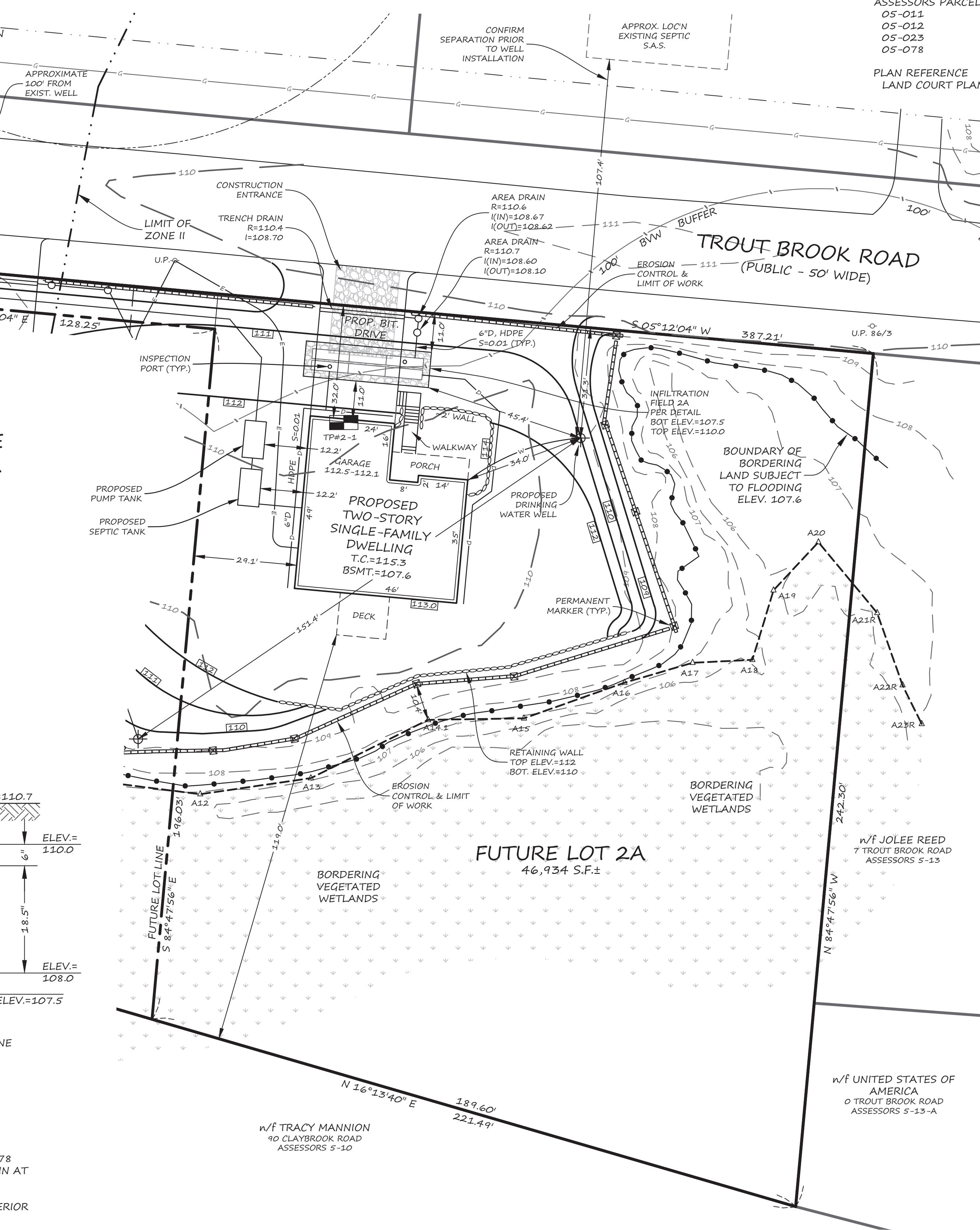


Digitalized by Daniel J.  
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PLAN SCALE: 1" = 20'  
0' 20' 40' 80'

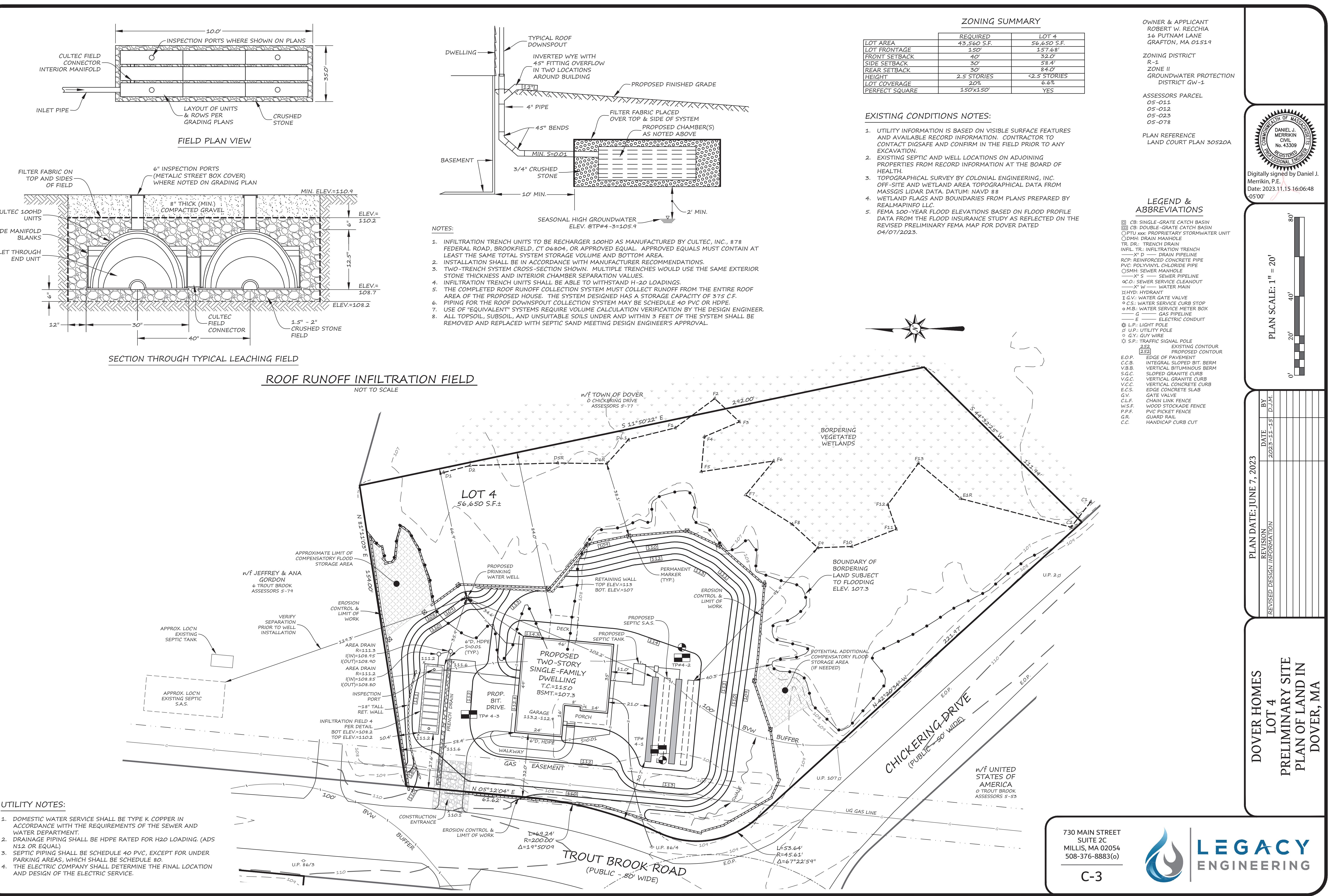
PLAN DATE: JUNE 7, 2023  
REVISION  
REvised Design Information  
2023-11-15 D.J.M.

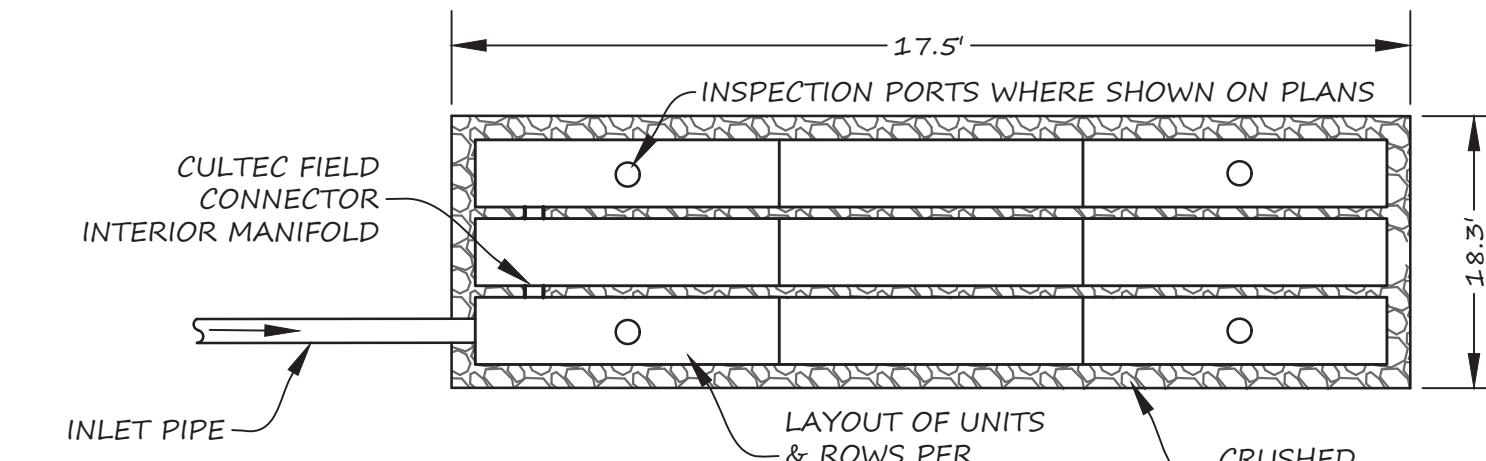
DOVER HOMES  
LOT 2A  
PRELIMINARY SITE  
PLAN OF LAND IN  
DOVER, MA



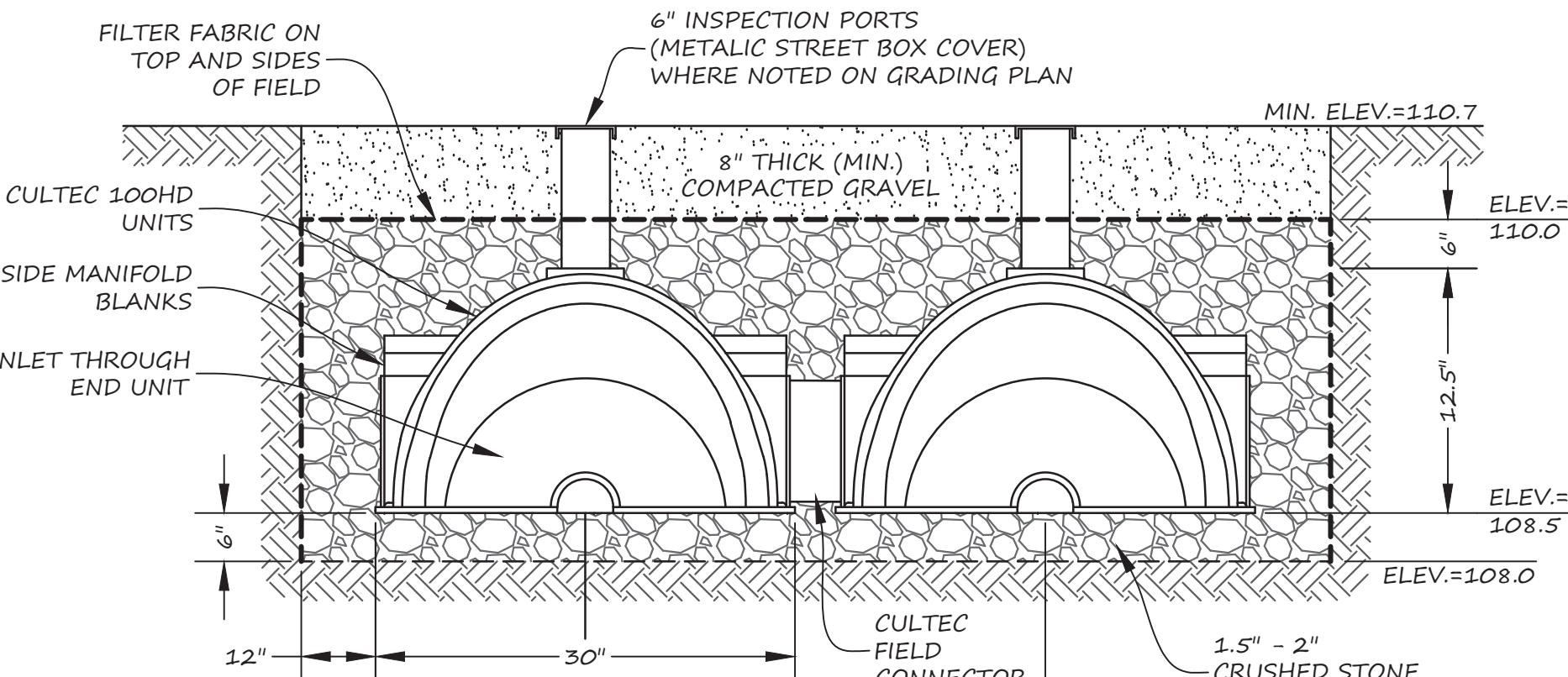
730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

**LEGACY**  
ENGINEERING

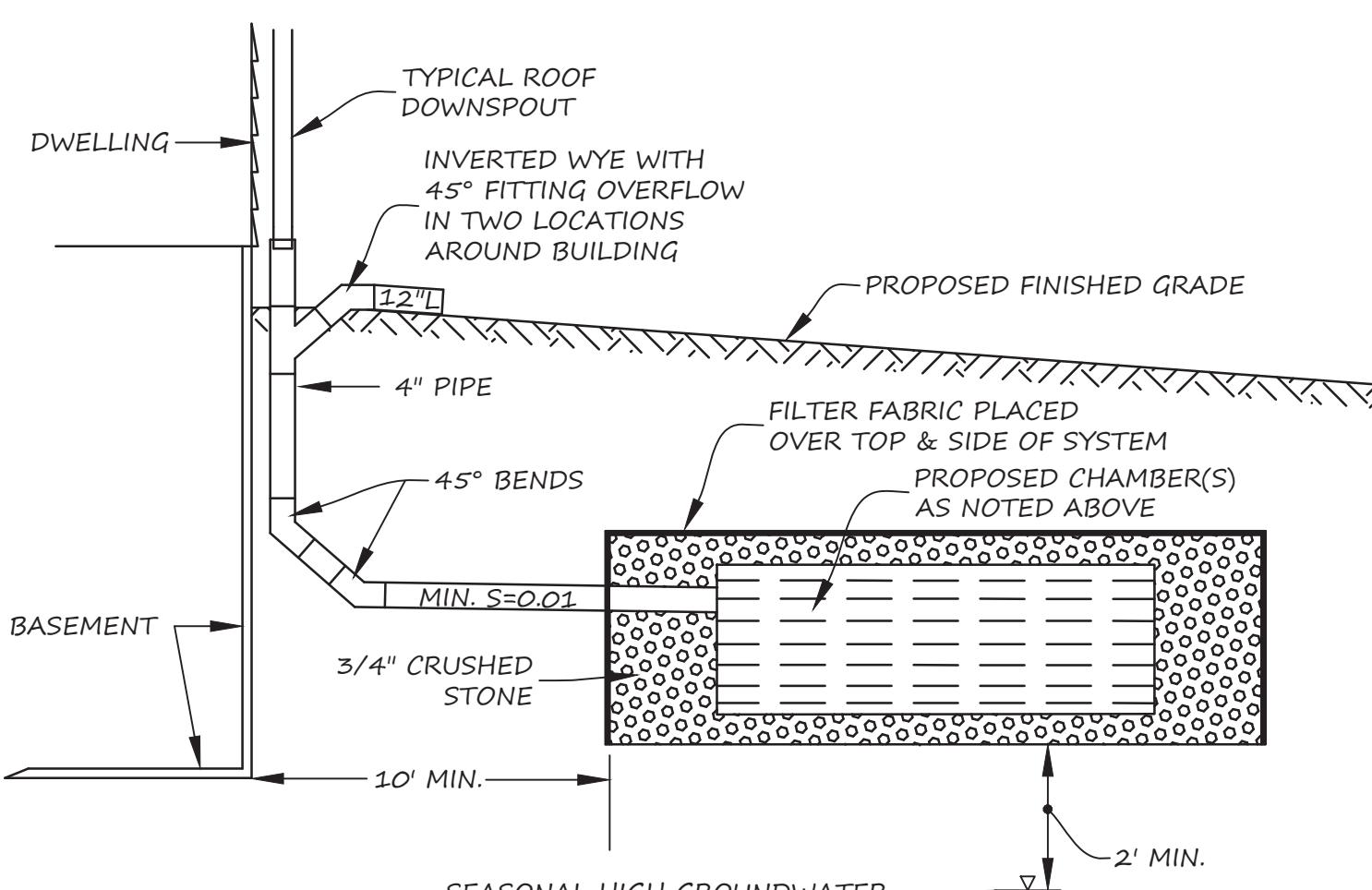




## FIELD PLAN VIEW



## SECTION THROUGH TYPICAL LEACHING FIELD



# ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE

## LEGEND & ABBREVIATIONS

CB: SINGLE-GRADE CATCH BASIN	
CB: DOUBLE-GRADE CATCH BASIN	
PTU xxx: PROPRIETARY STORMWATER UNIT	
DMH: DRAIN MANHOLE	
R. DR.: TRENCH DRAIN	
FIL. TR.: INFILTRATION TRENCH	
— X" D — DRAIN PIPELINE	
CP: REINFORCED CONCRETE PIPE	
VC: POLYVINYL CHLORIDE PIPE	
SMH: SEWER MANHOLE	
— X" S — SEWER PIPELINE	
C.O.: SEWER SERVICE CLEANOUT	
— X" W — WATER MAIN	
HYD: HYDRANT	
G.V.: WATER GATE VALVE	
C.S.: WATER SERVICE CURB STOP	
M.B.: WATER SERVICE METER BOX	
— G — GAS PIPELINE	
— E — ELECTRIC CONDUIT	
L.P.: LIGHT POLE	
U.P.: UTILITY POLE	
G.Y.: GUY WIRE	
S.P.: TRAFFIC SIGNAL POLE	
252	EXISTING CONTOUR
<u>252</u>	PROPOSED CONTOUR
O.P.	EDGE OF PAVEMENT
C.B.	INTEGRAL SLOPED BIT. BERM
B.B.	VERTICAL BITUMINOUS BERM
G.C.	SLOPED GRANITE CURB
G.C.	VERTICAL GRANITE CURB
C.C.	VERTICAL CONCRETE CURB
C.S.	EDGE CONCRETE SLAB
V.	GATE VALVE
L.F.	CHAIN LINK FENCE
S.F.	WOOD STOCKADE FENCE
P.F.	PVC PICKET FENCE
R.	GUARD RAIL

## EXISTING CONDITIONS NOTES:

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## ZONING SUMMARY

	REQUIRED	LOT 45
LOT AREA	43,560 S.F.	59,429 S.F.
LOT FRONTAGE	150'	285.00'
FRONT SETBACK	40'	21.1'
SIDE SETBACK	30'	90.3'
REAR SETBACK	30'	120'±
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT COVERAGE	20%	6.1%
PERFECT SQUARE	150'x150'	YES
% IN CONSERV. DIST.	25% MAX	7.0%

OWNER & APPLICANT  
ROBERT W. RECCHIA  
16 PUTNAM LANE  
GRAFTON, MA 01519

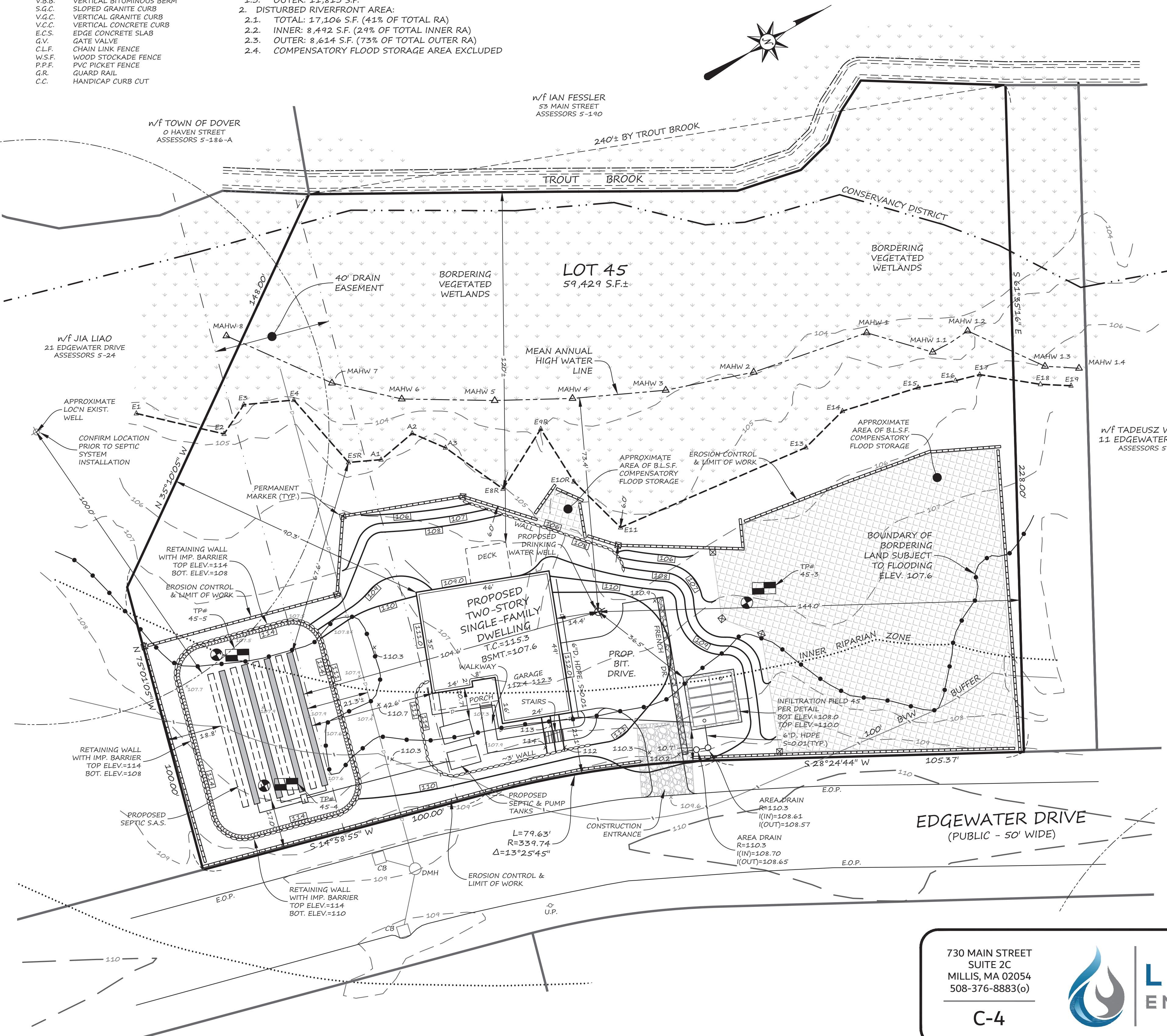
ZONING DISTRICT  
R-1  
ZONE II  
GROUNDWATER PROTECTION  
DISTRICT GW-1  
CONSERVANCY DISTRICT  
(PARTIALLY)

ASSESSORS PARCEL  
05-011  
05-012  
05-023  
05-078

PLAN REFERENCE  
LAND COURT PLAN 30520F

Digitally signed by Daniel  
J. Merrikin, P.E.  
Date: 2023.11.15 16:06:24

05'00'



## UTILITY NOTES

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
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30 MAIN STREET  
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508-376-8883(o)