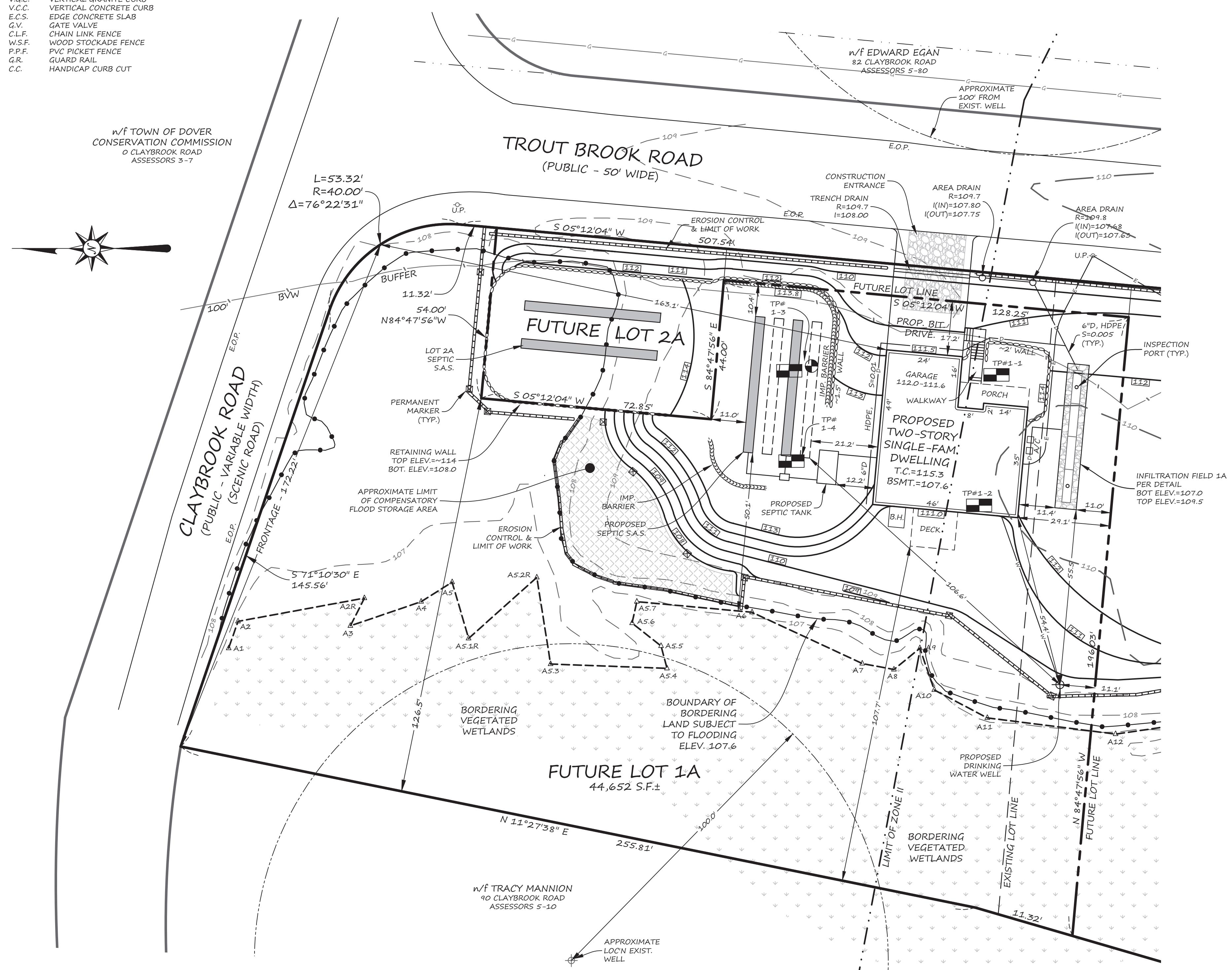


**LEGEND &  
ABBREVIATIONS**

|                                   |
|-----------------------------------|
| CB: SINGLE-GRAVE CATCH BASIN      |
| CB: DOUBLE-GRAVE CATCH BASIN      |
| ODMH: DRAIN MANHOLE               |
| TR. DR.: TRENCH DRAIN             |
| INFIL. TR.: INFILTRATION TRENCH   |
| -X- D: DRAIN PIPELINE             |
| RCP: POLYVINYL CHLORIDE PIPE      |
| OSMH: SEWER MANHOLE               |
| -X- S: SEWER PIPELINE             |
| -X- W: WATER MAIN                 |
| W.H.: HYDRANT                     |
| W.G.: WATER GATE VALVE            |
| W.C.: WATER SERVICE CURB STOP     |
| M.B.: WATER SERVICE METER BOX     |
| G: GAS PIPELINE                   |
| E.C.: ELECTRIC CONDUIT            |
| L.P.: LIGHT POLE                  |
| U.P.: UTILITY POLE                |
| G.Y.: GUY WIRE                    |
| S.P.: TRAFFIC SIGNAL POLE         |
| 252: EXISTING CONTOUR             |
| 252: PROPOSED CONTOUR             |
| E.O.P.: EDGE OF PROPERTY          |
| O.C.B.: INTEGRAL SLOPED BIT. BERM |
| V.B.B.: VERTICAL BITUMINOUS BERM  |
| S.G.C.: SLOPED GRANITE CURB       |
| V.G.C.: VERTICAL GRANITE CURB     |
| V.C.C.: VERTICAL CONCRETE CURB    |
| E.C.S.: ED CONCRETE SLAB          |
| G.V.: GATE VALVE                  |
| CL.F.: CHAIN LINK FENCE           |
| W.S.F.: WOOD STOCKADE FENCE       |
| P.P.F.: PVC PICKET FENCE          |
| G.R.: GUARD RAIL                  |
| C.C.: HANDICAP CURB CUT           |

**EXISTING CONDITIONS NOTES:**

1. UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
2. EXISTING SEPTIC AND WELL LOCATIONS ON ADJOINING PROPERTIES FROM RECORD INFORMATION AT THE BOARD OF HEALTH.
3. TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING, INC. OFF-SITE AND WETLAND AREA TOPOGRAPHICAL DATA FROM MASSGIS LIDAR DATA, DATUM: NAVD 88
4. WETLAND FLAGS AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
5. FEMA 100-YEAR FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM THE FLOOD INSURANCE STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.

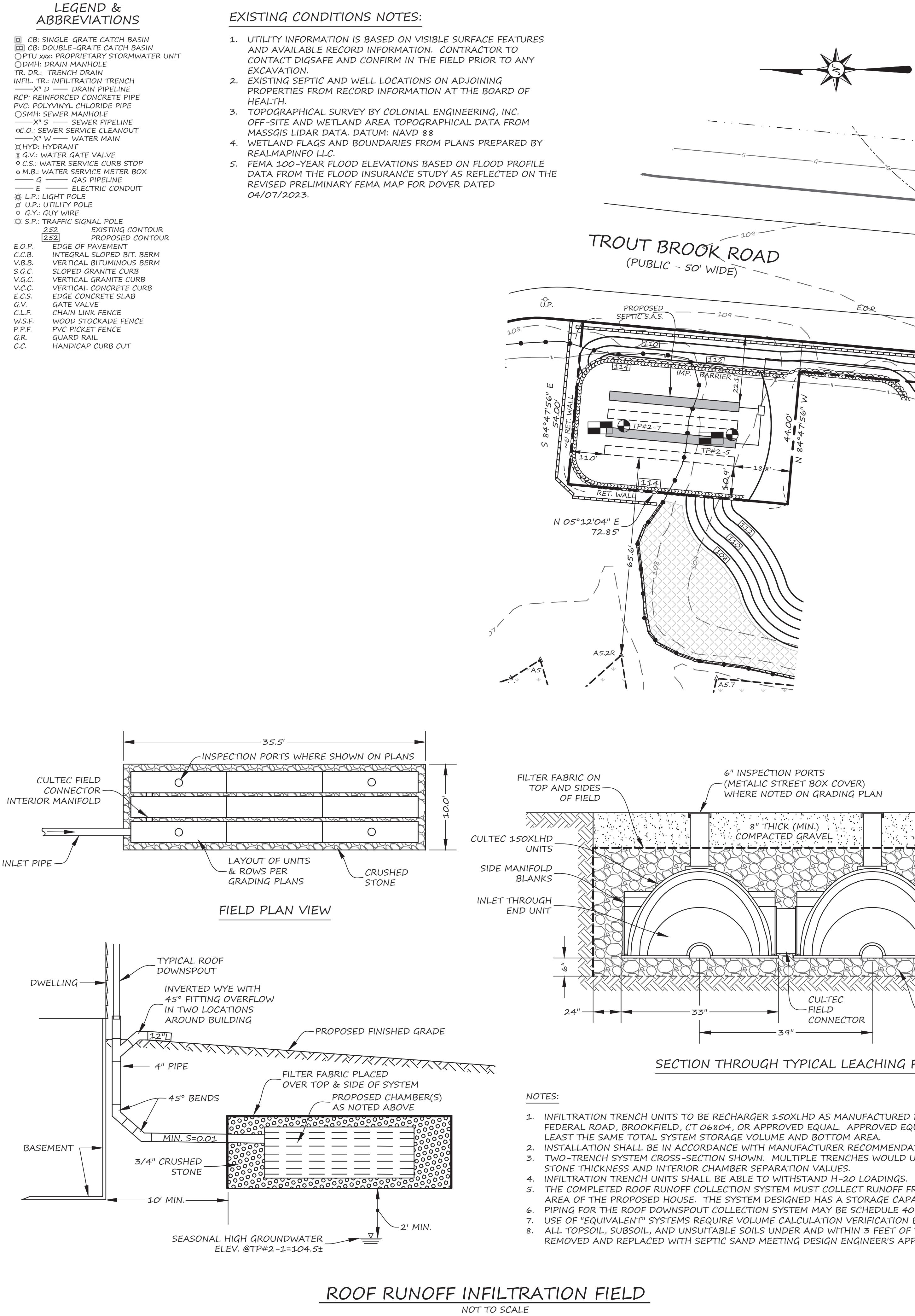


### LEGEND & ABBREVIATIONS

|                                   |
|-----------------------------------|
| CB: SINGLE-GRADE CATCH BASIN      |
| CB: DOUBLE-GRADE CATCH BASIN      |
| OPT: X-PERFORATED STORMWATER UNIT |
| ODW: DRAIN MANHOLE                |
| TR DR: TRENCH DRAIN               |
| INFIL: TR: INFILTRATION TRENCH    |
| X" D: DRAIN PIPELINE              |
| RCP: REINFORCED CONCRETE PIPE     |
| PVC: POLYVINYL CHLORIDE PIPE      |
| OSM: SEWER MAIN                   |
| X" W: SEWER PIPELINE              |
| OC: SEWER SERVICE CLEANOUT        |
| X" W: WATER MAIN                  |
| HYD: HYDRANT                      |
| W: WATER GATE VALVE               |
| C.S.: WATER SERVICE CURB STOP     |
| M.B.: WATER SERVICE METER BOX     |
| G: GAS PIPELINE                   |
| E: ELECTRIC CONDUIT               |
| L.P.: LIGHT POLE                  |
| U.P.: UTILITY POLE                |
| G.Y.: GUY WIRE                    |
| S.P.: TRAFFIC SIGNAL POLE         |
| 252: EXISTING CONTOUR             |
| 252: PROPOSED CONTOUR             |
| E.O.P.: EDGE OF PAVEMENT          |
| C.C.B.: INTEGRAL SLOPED BIT. BERM |
| V.C.B.: VERTICAL CONCRETE BERM    |
| S.G.C.: SLOPED GRANITE CURB       |
| V.G.C.: VERTICAL GRANITE CURB     |
| V.C.C.: VERTICAL CONCRETE CURB    |
| E.C.S.: EDGE CONCRETE SLAB        |
| G.V.: GUARDRAIL                   |
| CL.F.: CHAIN LINK FENCE           |
| W.S.F.: WOOD STOCKADE FENCE       |
| P.P.F.: PVC PICKET FENCE          |
| G.R.: GUARD RAIL                  |
| C.C.: HANDICAP CURB CUT           |

### EXISTING CONDITIONS NOTES:

1. UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
2. EXISTING SEPTIC AND WELL LOCATIONS ON ADJOINING PROPERTIES FROM RECORD INFORMATION AT THE BOARD OF HEALTH.
3. TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING, INC. OFF-SITE AND WETLAND AREA TOPOGRAPHICAL DATA FROM MASSGIS LIDAR DATA, DATUM: NAVD 88.
4. WETLAND PLACES AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
5. FEMA 100-YEAR FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM THE FLOOD INSURANCE STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.



### NOTES:

1. INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 461 C.F.
6. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
7. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
8. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

### UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N11 OR EQUAL)
3. SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
4. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

### ZONING SUMMARY

| REQUIRED       | LOT 2A      |
|----------------|-------------|
| LOT AREA       | 43,560 S.F. |
| LOT FRONTAGE   | 150'        |
| FRONT SETBACK  | 40'         |
| SIDE SETBACK   | 30'         |
| REAR SETBACK   | 30'         |
| HEIGHT         | 2.5 STORIES |
| LOT COVERAGE   | 20%         |
| PERFECT SQUARE | 6.2%        |
|                | YES         |

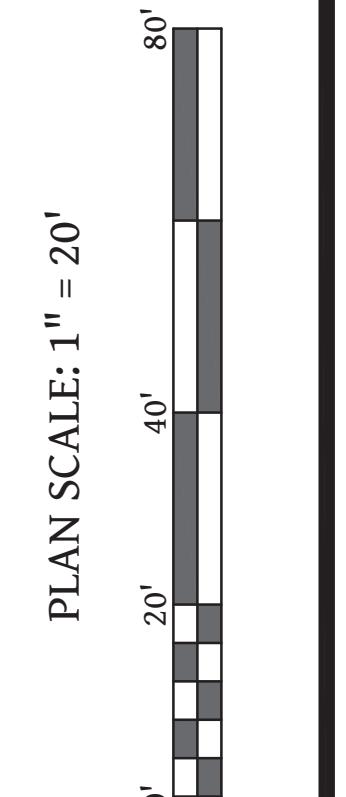
OWNER & APPLICANT  
ROBERT W RECHIA  
16 PUTNAM LANE  
GRAFTON, MA 01519  
ZONING DISTRICT  
R-1  
ZONE II (PARTIALLY)  
GROUNDWATER PROTECTION  
DISTRICT GW-1

ASSESSORS PARCEL  
05-011  
05-012  
05-023  
05-078

PLAN REFERENCE  
LAND COURT PLAN 30520A

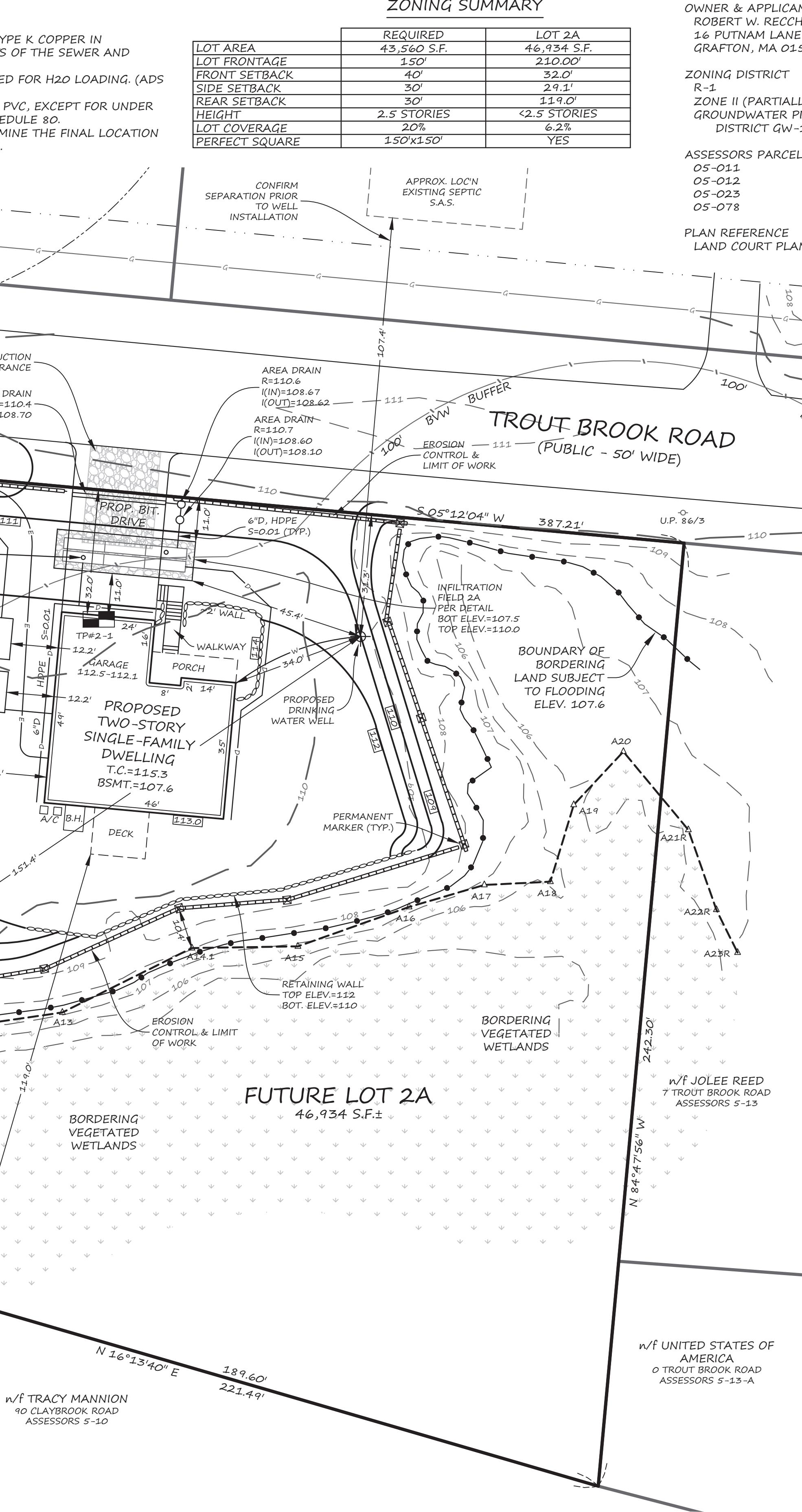


Digitally signed by Daniel J. Merrink, P.E.  
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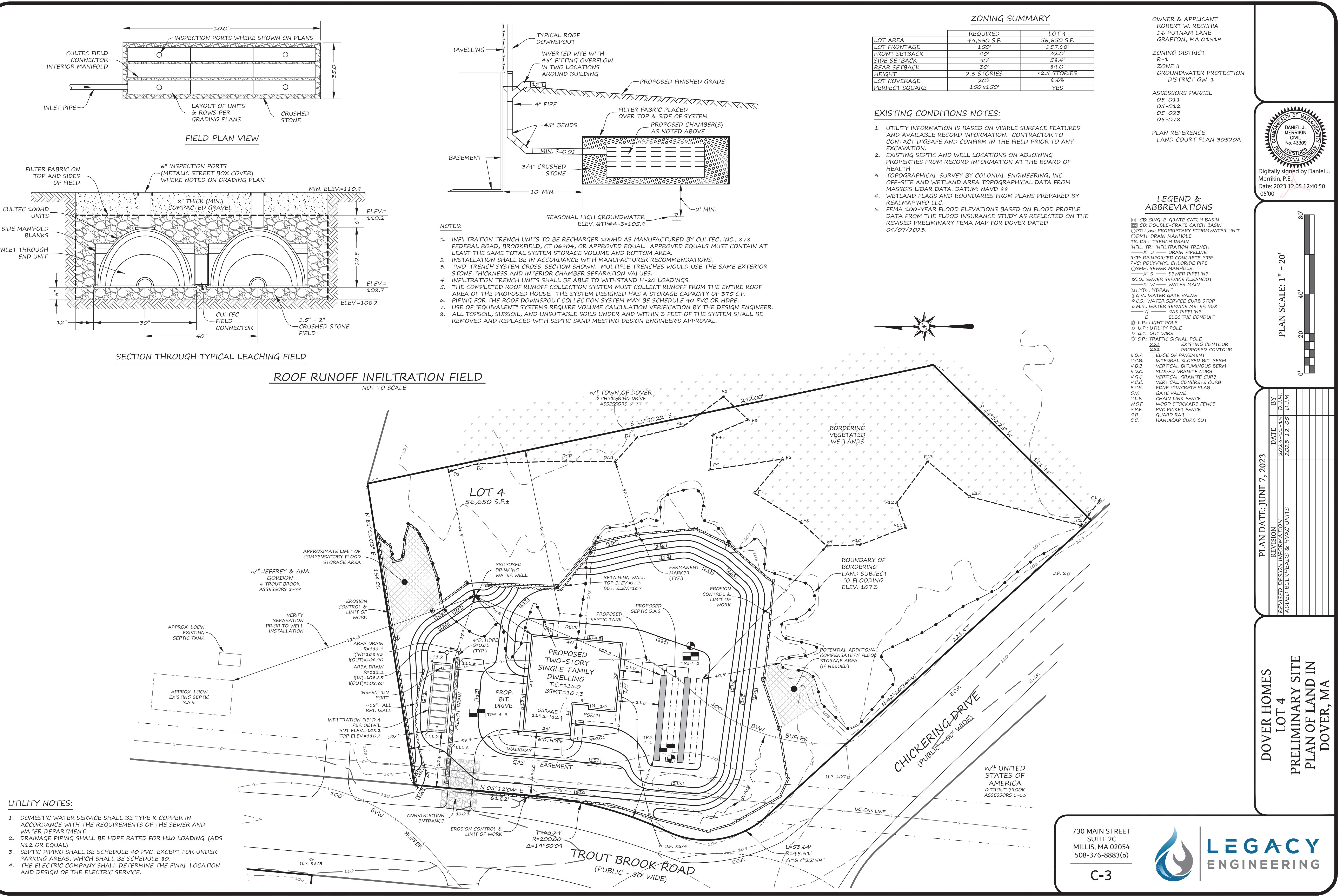
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REVISION: 1  
DATE: 2023-11-15 D.J.M.  
BY: 2023-12-05 D.J.M.  
REVISED DESIGN/INFORMATION  
ADDED BULKHEADS & HVAC UNITS

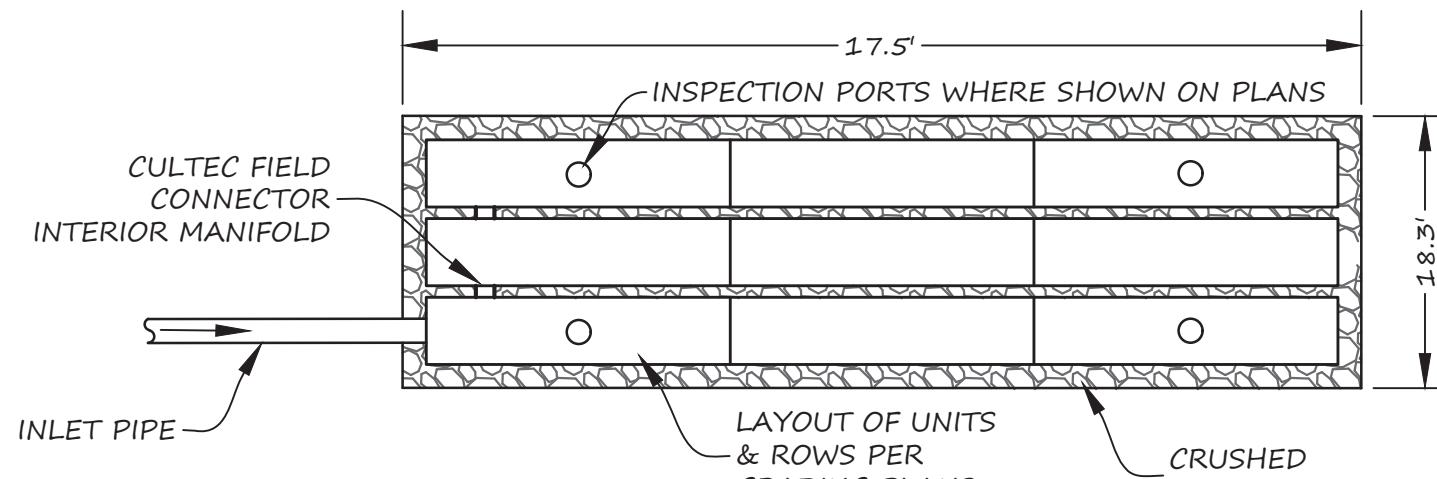
DOVER HOMES  
LOT 2A  
PRELIMINARY SITE  
PLAN OF LAND IN  
DOVER, MA



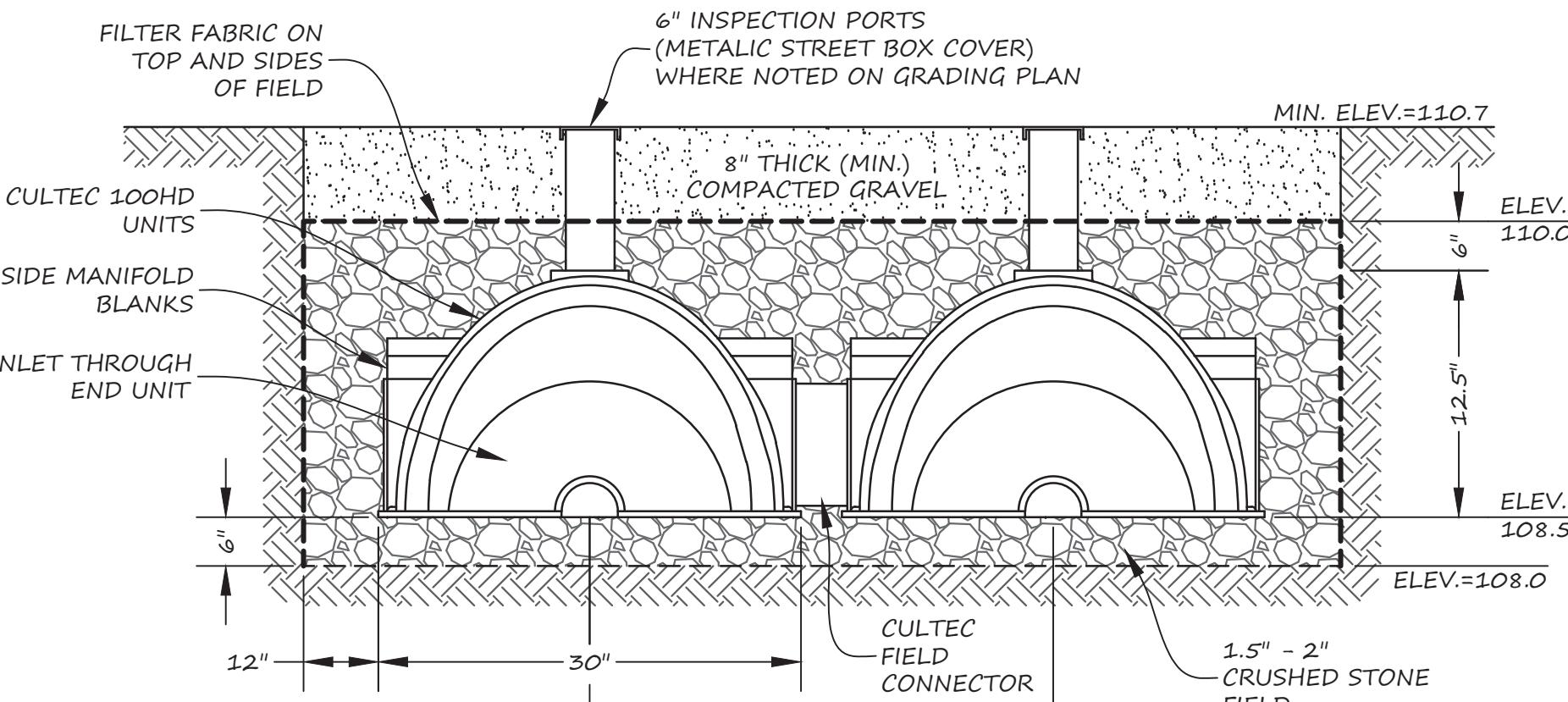
730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

LEGACY  
ENGINEERING

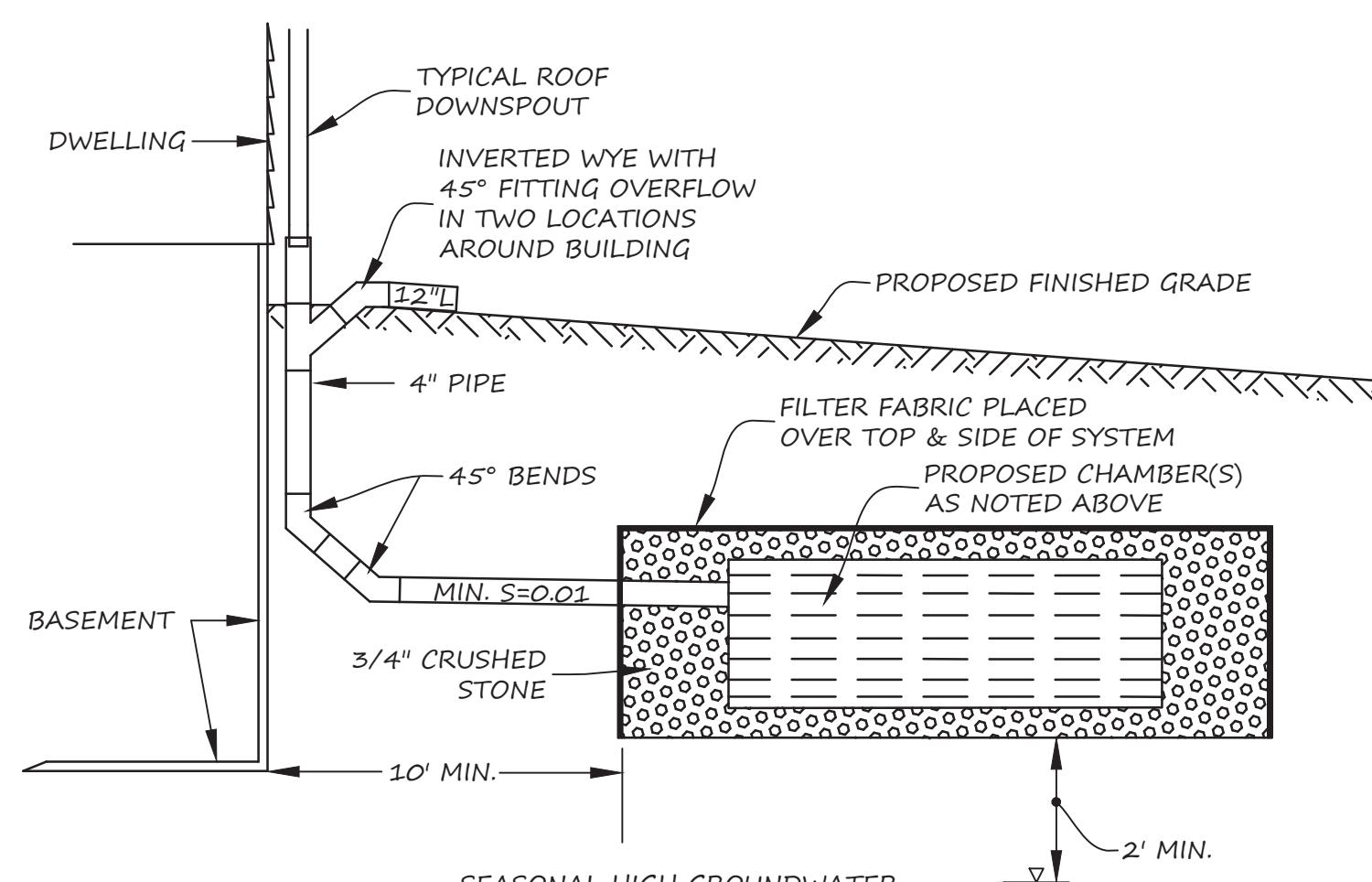




FIELD PLAN VIEW



SECTION THROUGH TYPICAL LEACHING FIELD



NOTES:

1. INFILTRATION TRENCH UNITS TO BE RECHARGER 100HD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 349 C.F.
6. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
7. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
8. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ROOF RUNOFF INFILTRATION FIELD  
NOT TO SCALE

UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H20 LOADING. (ADS N12 OR EQUAL)
3. SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
4. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

LEGEND & ABBREVIATIONS

|  |                     |
|--|---------------------|
| CB: SINGLE-GRADE CATCH BASIN                   | LOT AREA            |
| DB: DOUBLE-GRADE CATCH BASIN                   | LOT FRONTAGE        |
| OPTU: PROPRIETARY STORMWATER UNIT              | FRONT SETBACK       |
| ODMH: DRAIN MANHOLE                            | SIDE SETBACK        |
| TR. DR: TRENCH DRAIN                           | REAR SETBACK        |
| INFIL. TRENCH: INFILTRATION TRENCH             | HEIGHT              |
| X-D: DRAIN PIPE                                | LOT COVERAGE        |
| RCP: REINFORCED CONCRETE PIPE                  | PERFECT SQUARE      |
| PVC: POLYVINYL CHLORIDE PIPE                   | % IN CONSERV. DIST. |
| OSMH: SEWER MANHOLE                            |                     |
| X-S: SEWER PIPELINE                            |                     |
| OC: SEWER SERVICE CLEANOUT                     |                     |
| HD: HYDRAULIC MAIN                             |                     |
| HGV: WATER GATE VALVE                          |                     |
| CS: WATER SERVICE CURB STOP                    |                     |
| M.B.: WATER SERVICE METER BOX                  |                     |
| G: GAS PIPELINE                                |                     |
| LP: LIGHT POLE                                 |                     |
| UP: UTILITY POLE                               |                     |
| GY: GUY WIRE                                   |                     |
| S.P: TRAFFIC SIGNAL POLE                       |                     |
| 252: EXISTING CONTOUR<br>252: PROPOSED CONTOUR |                     |
| E.O.P: EDGE OF PAVEMENT                        |                     |
| CCB: INTEGRAL SLOPED BIT. BERM                 |                     |
| V.B.B: VERTICAL BITUMINOUS BERM                |                     |
| S.G.C: SLOPED GRANITE CURB                     |                     |
| V.G.C: VERTICAL GRANITE CURB                   |                     |
| V.C.C: VERTICAL CONCRETE CURB                  |                     |
| E.C.S: ED CONCRETE SLAB                        |                     |
| G.V: GATE VALVE                                |                     |
| CLF: CHAIN LINK FENCE                          |                     |
| W.S.F: WOOD STOCKADE FENCE                     |                     |
| P.P.F: PVC PICKET FENCE                        |                     |
| G.R: GUARD RAIL                                |                     |
| C.C: HANDICAP CURB CUT                         |                     |

EXISTING CONDITIONS NOTES:

1. UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
2. EXISTING SEPTIC AND WELL LOCATIONS ON ADJOINING PROPERTIES FROM RECORD INFORMATION AT THE BOARD OF HEALTH.
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4. WETLAND FLAGS AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
5. FEMA 100-YEAR FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM THE FLOOD INSURANCE STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.

ZONING SUMMARY

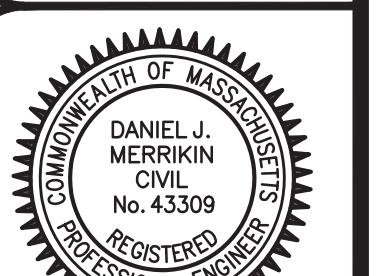
| REQUIRED            | LOT 45                   |
|---------------------|--------------------------|
| LOT AREA            | 43,560 S.F. 59,429 S.F.  |
| LOT FRONTAGE        | 150' 285.00'             |
| FRONT SETBACK       | 40' 21.1'                |
| SIDE SETBACK        | 30' 90.3'                |
| REAR SETBACK        | 30' 120.4'               |
| HEIGHT              | 2.5 STORIES <2.5 STORIES |
| LOT COVERAGE        | 20% 6.1%                 |
| PERFECT SQUARE      | 150'x150' YES            |
| % IN CONSERV. DIST. | 25% MAX 7.0%             |

OWNER & APPLICANT  
ROBERT W RECHIA  
16 PUTNAM LANE  
GRAFTON, MA 01519

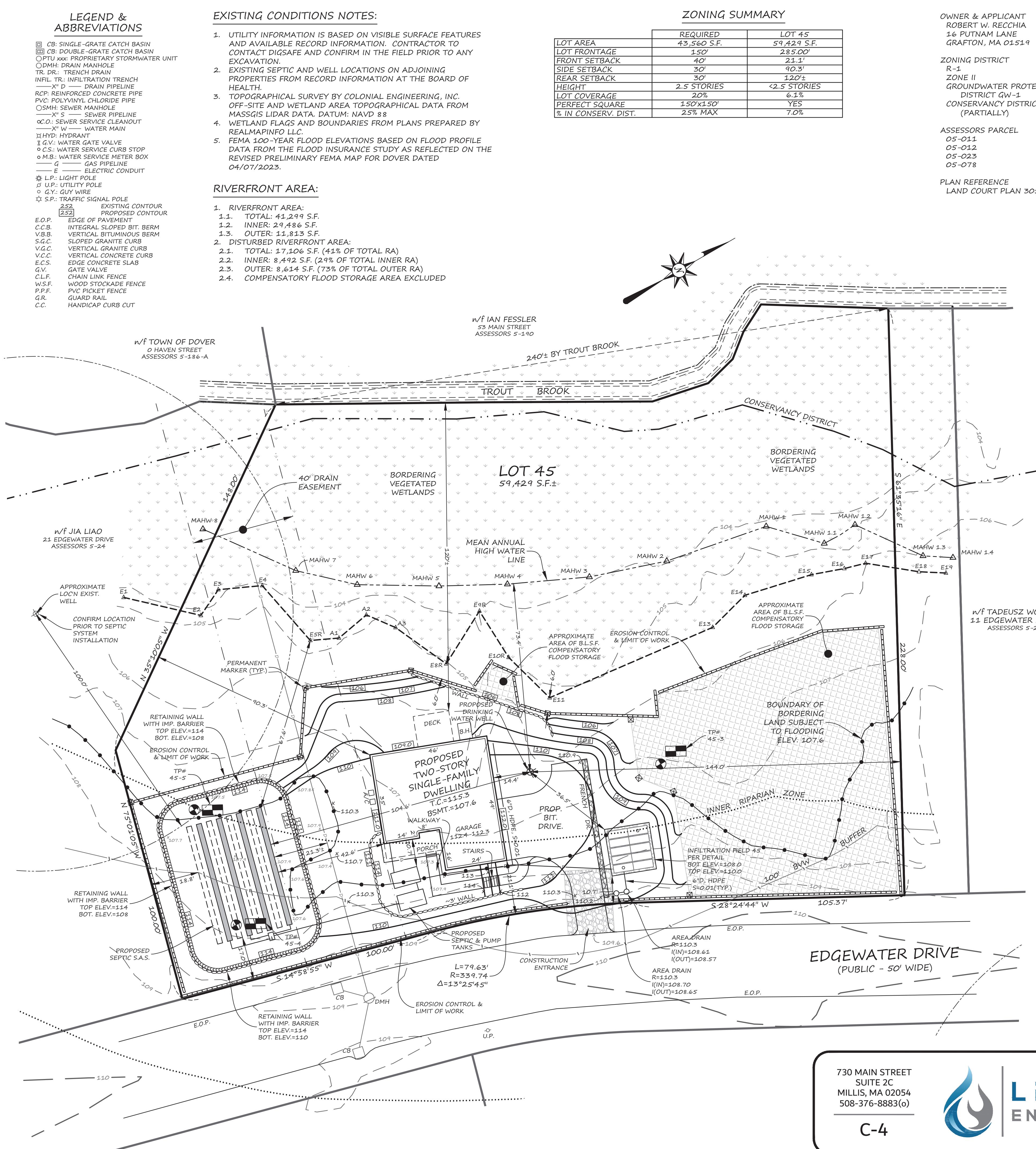
ZONING DISTRICT  
R-1  
ZONE II  
GROUNDWATER PROTECTION  
DISTRICT GW-1  
CONSERVANCY DISTRICT  
(PARTIALLY)

ASSESSORS PARCEL  
05-011  
05-012  
05-023  
05-078

PLAN REFERENCE  
LAND COURT PLAN 30520F



Digitally signed by Daniel J. Merrink, P.E.  
Date: 2023.12.05 12:40:30  
-05'00'



PLAN DATE: JUNE 7, 2023  
REVISION: 1  
DATE: 2023-11-15 D.J.M.  
BY: 2023-12-05 D.J.M.  
REVISED DESIGN IN BULKHEADS & HVAC UNITS  
ADDED BULKHEADS & HVAC UNITS

DOVER HOMES  
LOT 45  
PRELIMINARY SITE  
PLAN OF LAND IN  
DOVER, MA

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

LEGACY  
ENGINEERING

