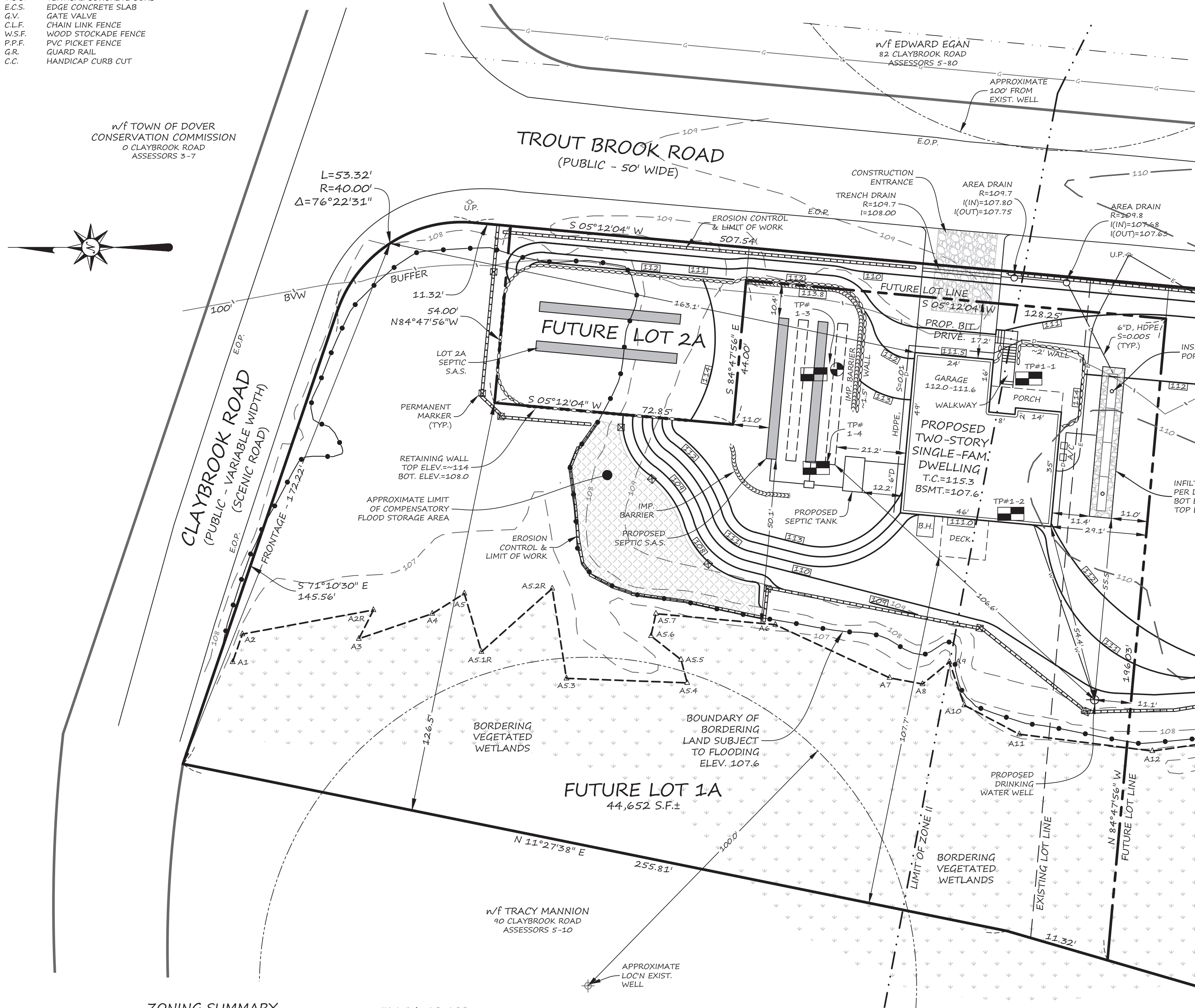


LEGEND & ABBREVIATIONS

CB: SINGLE-GRATE CATCH BASIN
CB: DOUBLE-GRATE CATCH BASIN
OPTU xxx: PROPRIETARY STORMWATER UNIT
TR: DRAIN MANHOLE
TR: TRENCH DRAIN
INFIL: INFILTRATION TRENCH
X" D: DRAIN PIPELINE
RCP: REINFORCED CONCRETE PIPE
PVC: POLYVINYL CHLORIDE PIPE
OSMH: SEWER MANHOLE
X" S: SEWER PIPELINE
X" W: SEWER SERVICE CLEANOUT
X" W: WATER MAIN
HYD: HYDRANT
G.V.: WATER GATE VALVE
C.S.: WATER SERVICE CURB STOP
M.B.: WATER SERVICE METER BOX
G: GAS PIPELINE
E: ELECTRIC CONDUIT
L.P.: LIGHT POLE
U.P.: UTILITY POLE
G.Y.: GUY WIRE
S.P.: TRAFFIC SIGNAL POLE
252: EXISTING CONTOUR
252: PROPOSED CONTOUR
E.O.P.: EDGE OF PAVEMENT
C.B.: INTEGRAL SLOPED BIT. BERM
V.B.B.: VERTICAL BITUMINOUS BERM
S.G.C.: SLOPED GRANITE CURB
V.G.C.: VERTICAL GRANITE CURB
V.C.C.: VERTICAL CONCRETE CURB
E.C.S.: EDGE CONCRETE SLAB
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C.L.F.: CHAIN LINK FENCE
W.S.F.: WOOD STOCKADE FENCE
P.P.F.: PVC PICKET FENCE
G.R.: GUARD RAIL
C.C.: HANDICAP CURB CUT

EXISTING CONDITIONS NOTES:

- UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
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ZONING SUMMARY

LOT AREA	REQUIRED	LOT 1A
43,360 S.F.	43,360 S.F.	43,360 S.F.
LOT FRONTAGE	150'	172.22'
FRONT SETBACK	40'	163.1'
SIDE SETBACK	30'	17.2'
REAR SETBACK	30'	29.1'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT IMP. COVERAGE	20%	6.1%
PERFECT SQUARE	150'x150'	NO

UTILITY NOTES:

- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
- SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

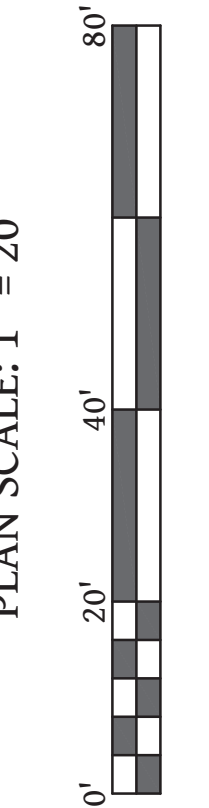
ZONING DISTRICT
R-1
ZONE II (PARTIALLY)
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A



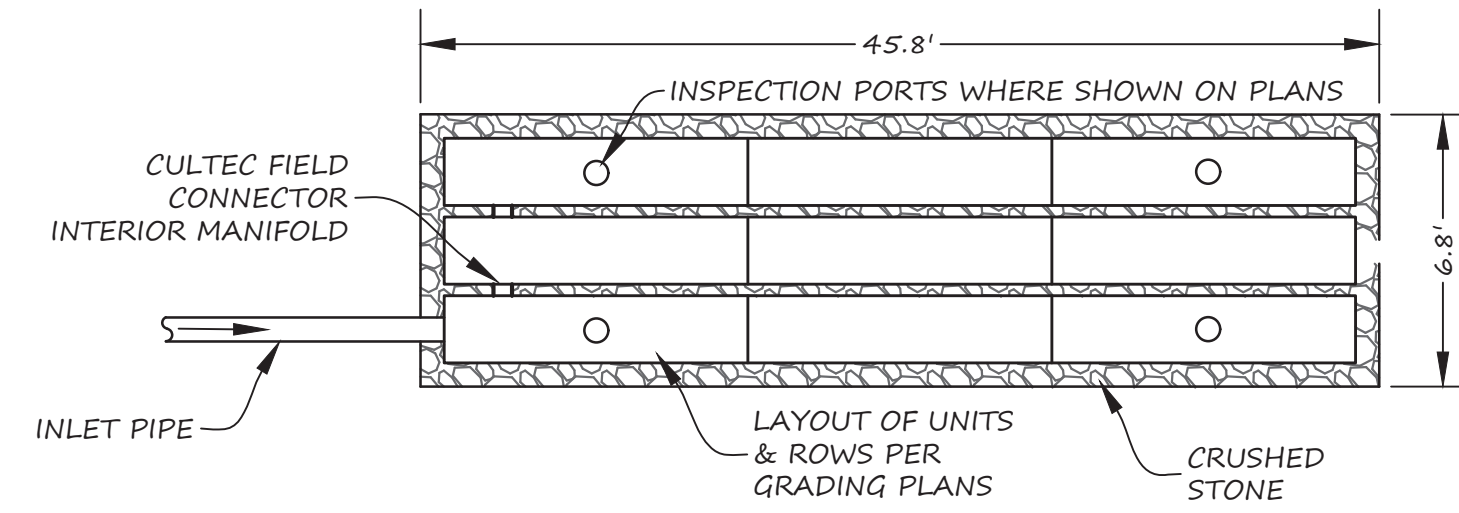
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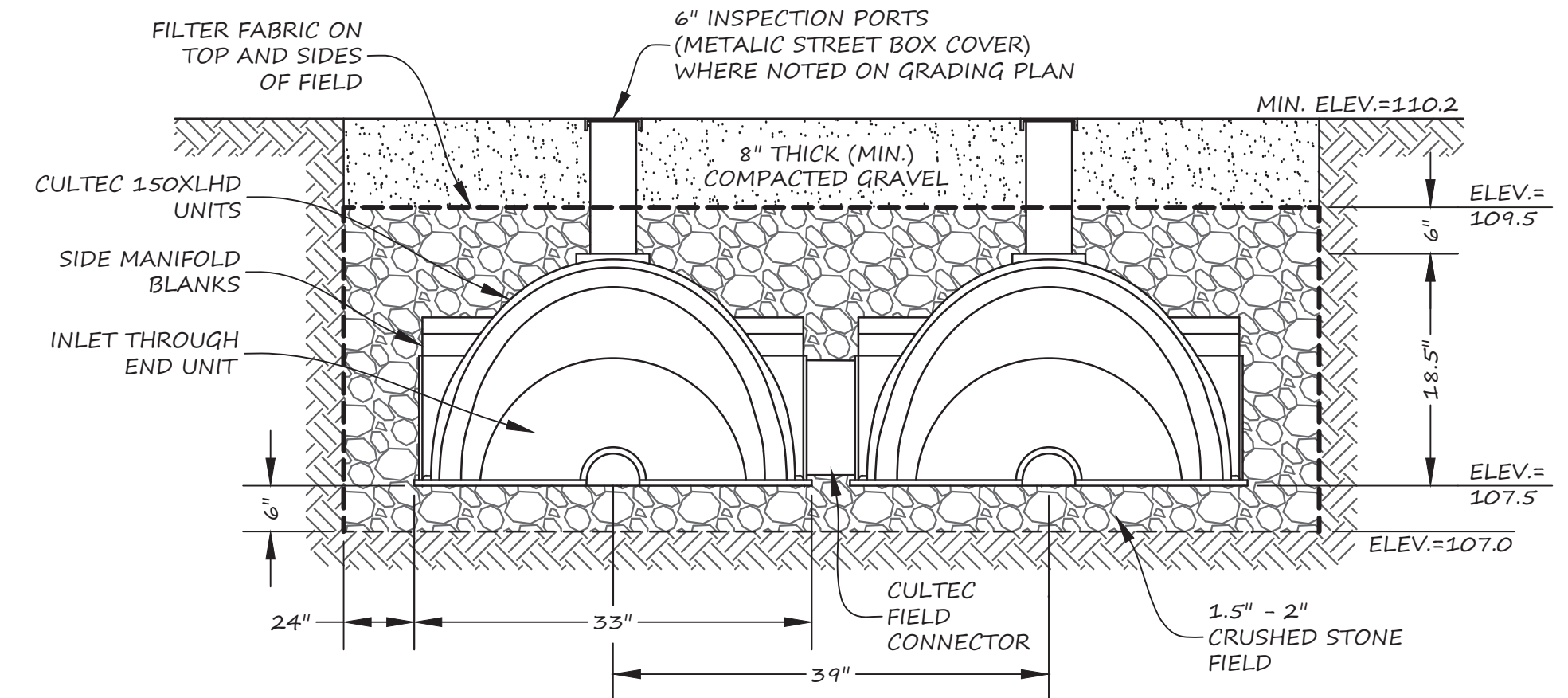
REVISION	DATE	BY
2023-11-15	2023-11-15	D.J.M.
2023-12-05	2023-12-05	D.J.M.
ADDED BULKHEADS & HVAC UNITS		

PLAN DATE: JUNE 7, 2023

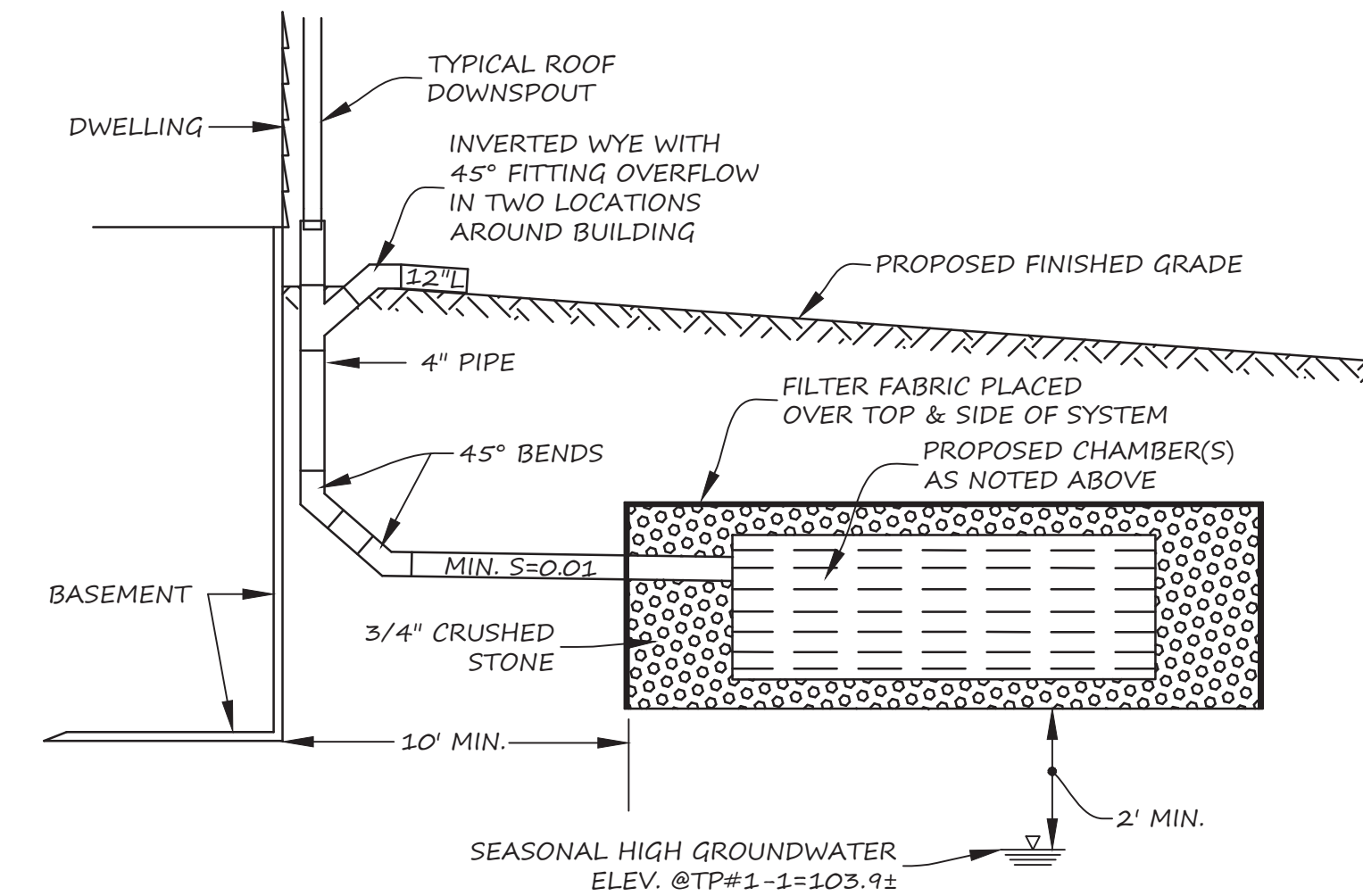
DOVER HOMES
LOT 1A
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA



FIELD PLAN VIEW



SECTION THROUGH TYPICAL LEACHING FIELD



NOTES:

- INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
- THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 442 C.F.
- PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
- USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
- ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-1



LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
CB: DOUBLE-GRATE CATCH BASIN
OPTU xxx: PROPRIETARY STORMWATER UNIT
DMH: DRAIN MANHOLE
TR. DR.: TRENCH DRAIN
INFIL. TR.: INFILTRATION TRENCH
X" D: DRAIN PIPELINE
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- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
- SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

ZONING SUMMARY

LOT AREA	REQUIRED	LOT 2A
43,560 S.F.	43,560 S.F.	46,934 S.F.
LOT FRONTAGE	150'	210.00'
FRONT SETBACK	40'	32.0'
SIDE SETBACK	30'	29.1'
REAR SETBACK	30'	119.0'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT COVERAGE	20%	6.2%
PERFECT SQUARE	150'x150'	YES

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II (PARTIALLY)
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2023.12.05 12:41:09 -05'00'

PLAN SCALE: 1" = 20'

PLAN DATE: JUNE 7, 2023

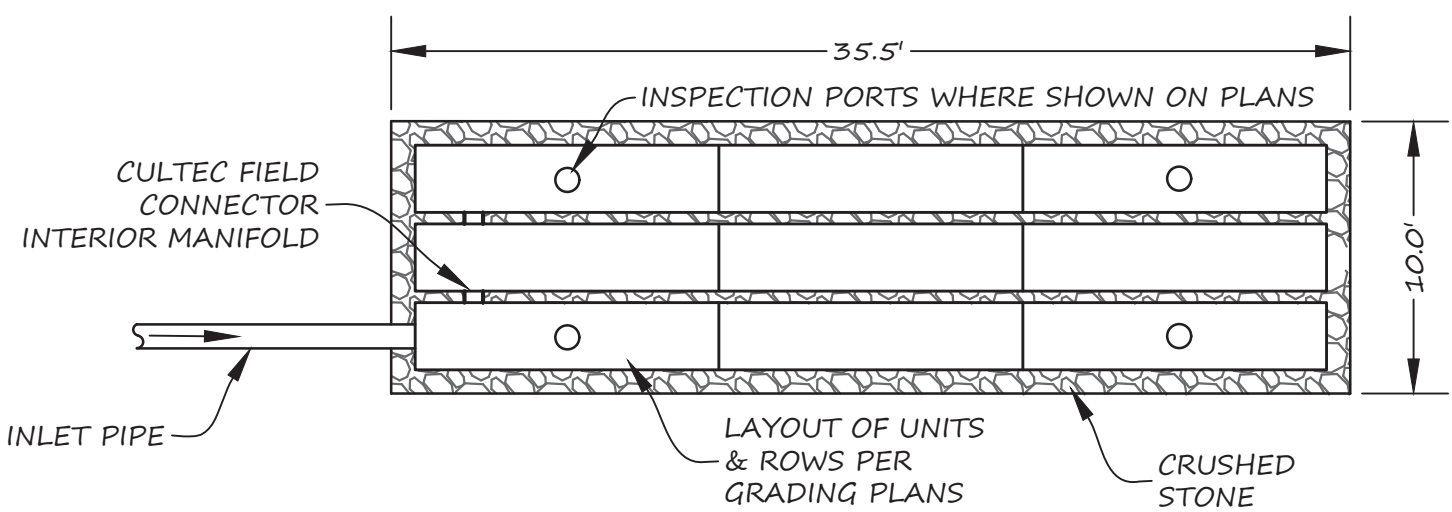
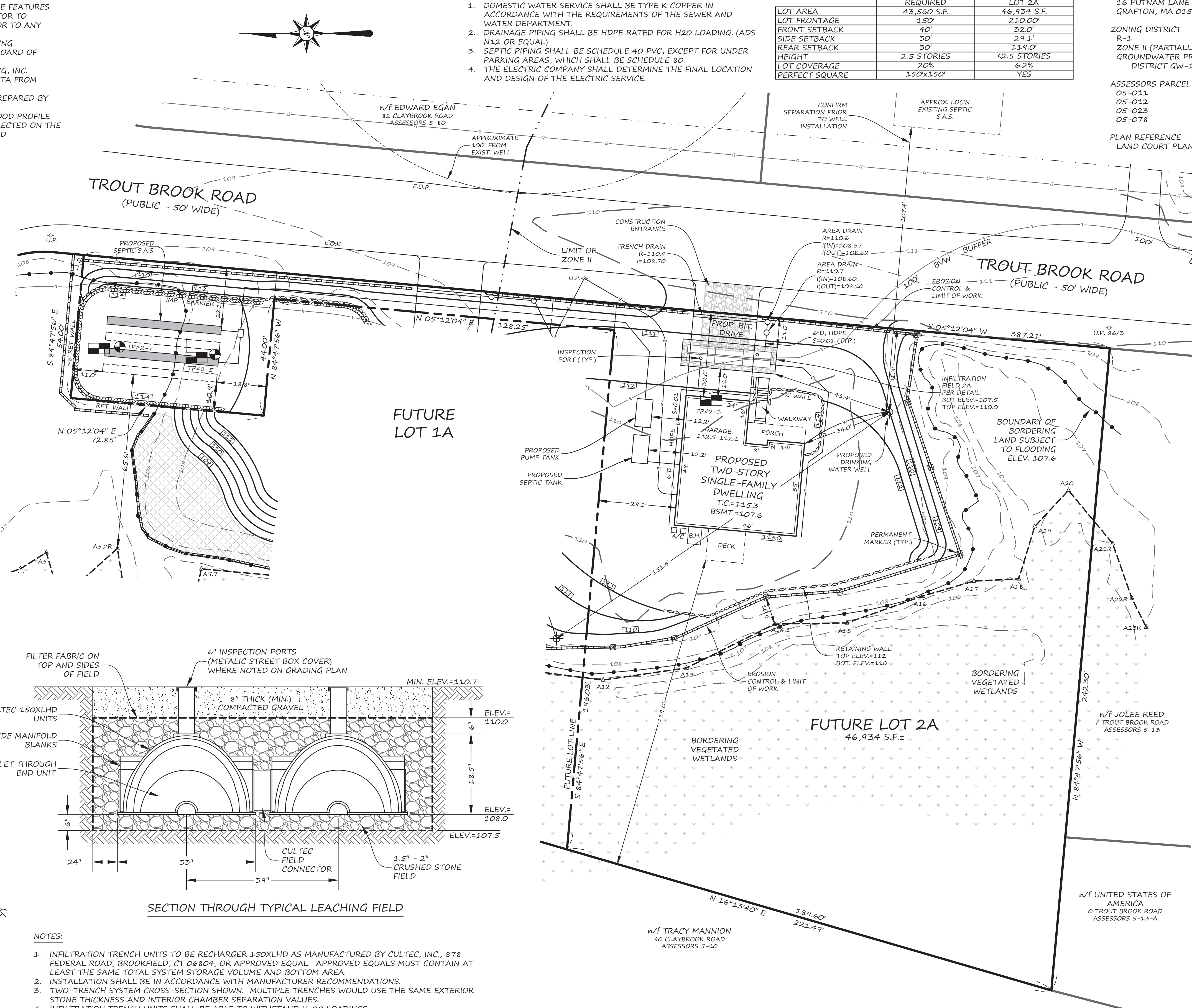
REVISION	DATE	BY
DESIGNED	2023-11-15	D.J.M.
REVISED	2023-12-05	D.J.M.
ADDED		
BULKHEADS & HVAC UNITS		

DOVER HOMES
LOT 2A
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

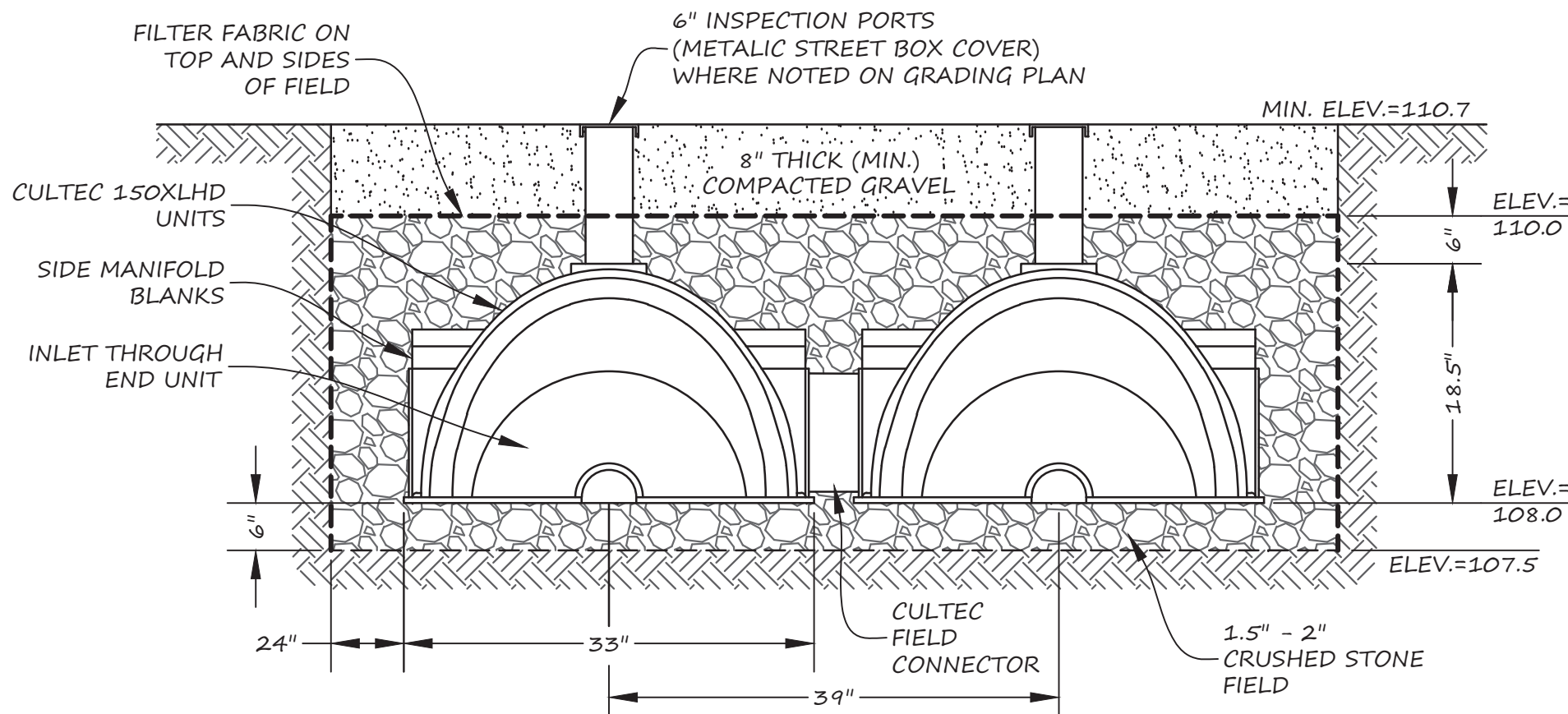
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING



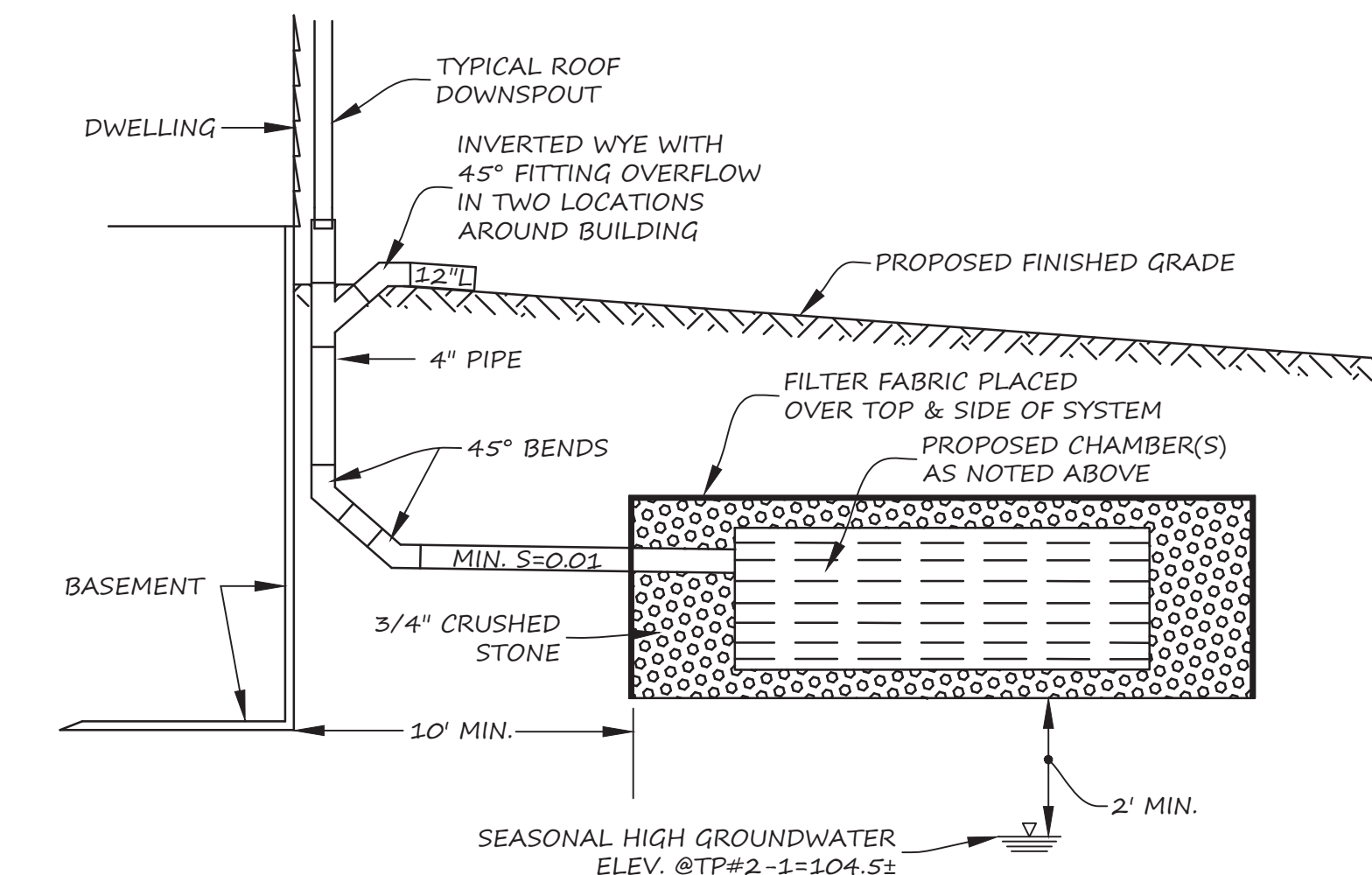
FIELD PLAN VIEW



SECTION THROUGH TYPICAL LEACHING FIELD

NOTES:

- INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
- THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 461 C.F.
- PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
- USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
- ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.



ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE



1. INFILTRATION TRENCH UNITS TO BE RECHARGER 100HD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
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3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 375 CFS.
6. PIPE FOR TOP TRENCH SHALL BE 48" DIAMETER. BOTTOM TRENCH SHALL BE 42" DIAMETER.
7. USE OF "EQUIVALENT" SYSTEMS REQUIRES VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
8. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

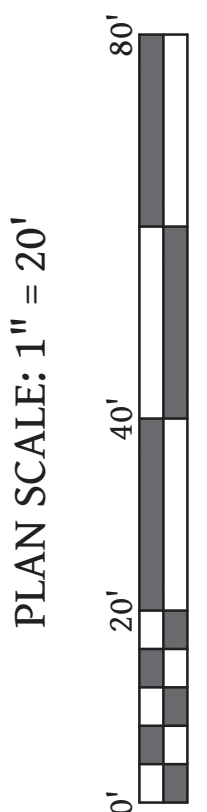
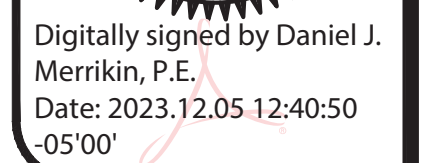
EXISTING CONDITIONS NOTES:

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PLAN REFERENCE
LAND COURT PLAN 30520A

LEGEND & ABBREVIATIONS

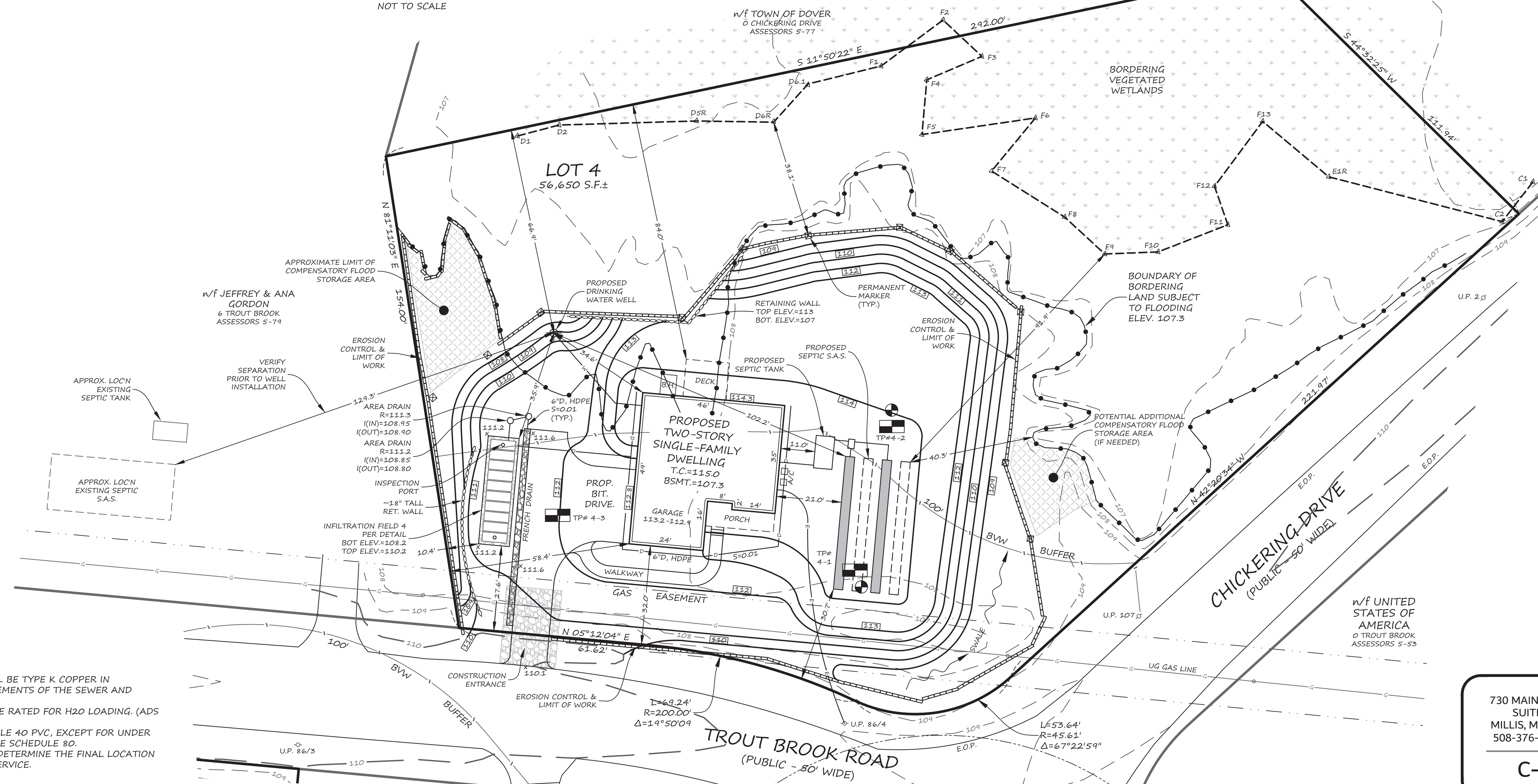
- CB: SINGLE-GRATE CATCH BASIN
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 OPTU xxx: PROPRIETARY STORMWATER UNIT
 OPTU: DRAIN MANHOLE
 TR DR: TRENCH DRAIN
 INFIL TR: INFILTRATION TRENCH
 "X" D: DRAIN PIPELINE
 RC-P: REINFORCED CONCRETE PIPE
 PVC: POLYVINYL CHLORIDE PIPE
 OSMH: SEWER MANHOLE
 "X" S: SEWER PIPELINE
 QO.O: SEWER SERVICE CLEANOUT
 "X" W: WATER MAIN
 H HYD: HYDRANT
 G V: GAS WATER GAS VALVE
 Q S: WATER SERVICE CURB STOP
 O MB: WATER SERVICE MASTER BOX
 G: GAS PIPELINE
 E: ELECTRIC CONDUIT
 ☆ L P: LIGHT POLE
 ☆ U P: UTILITY POLE
 Q G Y: GUY WIRE
 ☆ S P: TRAFFIC SIGNAL POLE
 252: EXISTING CONTOUR
 252: PROPOSED CONTOUR
 E.O.P. EDGE OF PAVEMENT
 V.B.B. VERTICAL BITUMINOUS BERM
 S.G.C. SLOPED GRANITE CURB
 V.C.C. VERTICAL GRANITE CURB
 V.C.C. VERTICAL CONCRETE CURB
 E.C.S. EDGE CONCRETE SLAB
 GATE V.A. GATE VALVE
 C.F. CHAIN LINK FENCE
 W.S.F. WOOD STOCKPENE FENCE
 P.P.F. PVC PICKET FENCE
 GUARD RAIL
 C.C. HANDICAP CURB CUT

[illegible]

DOVER HOMES
LOT 4
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
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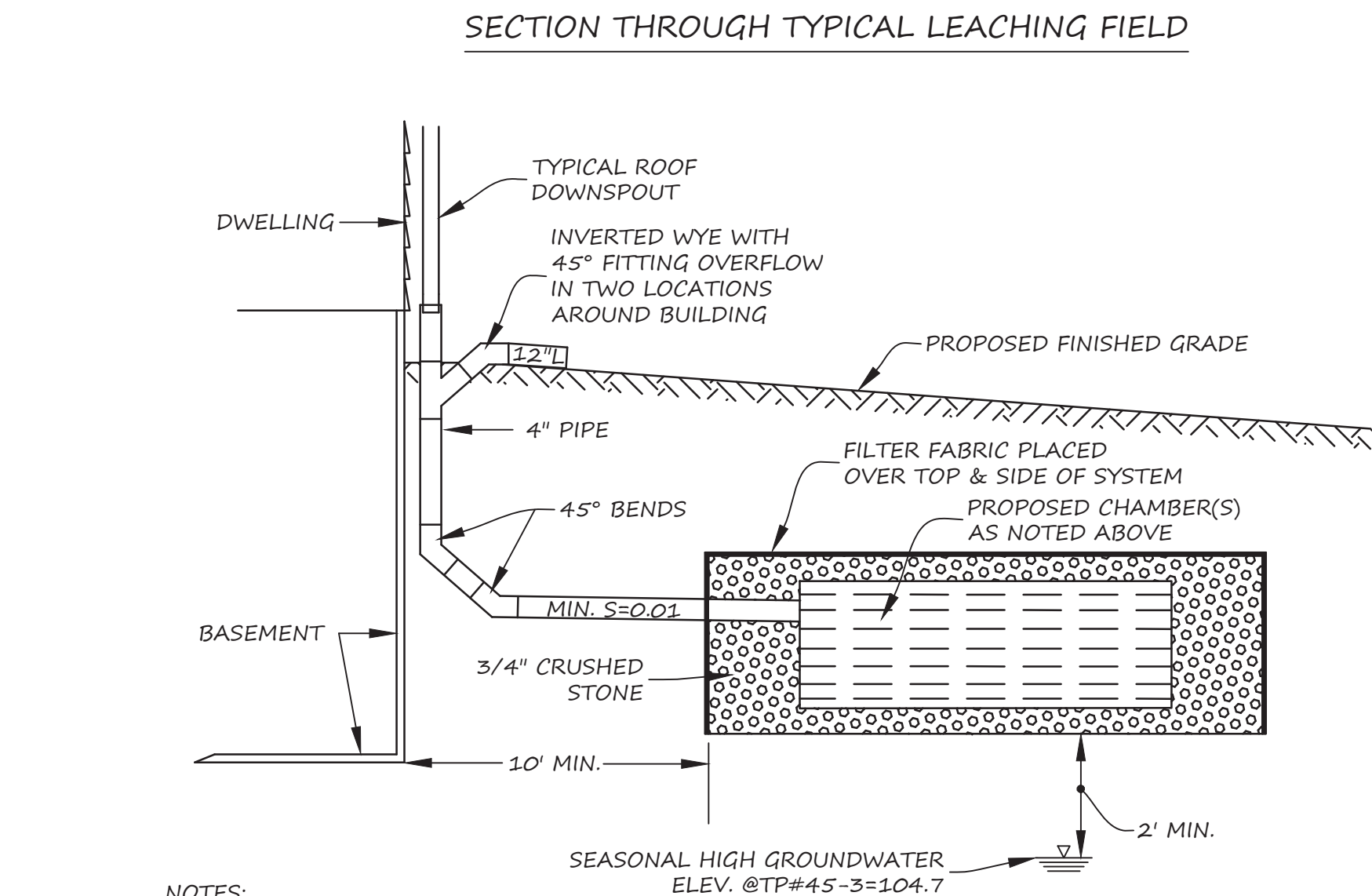
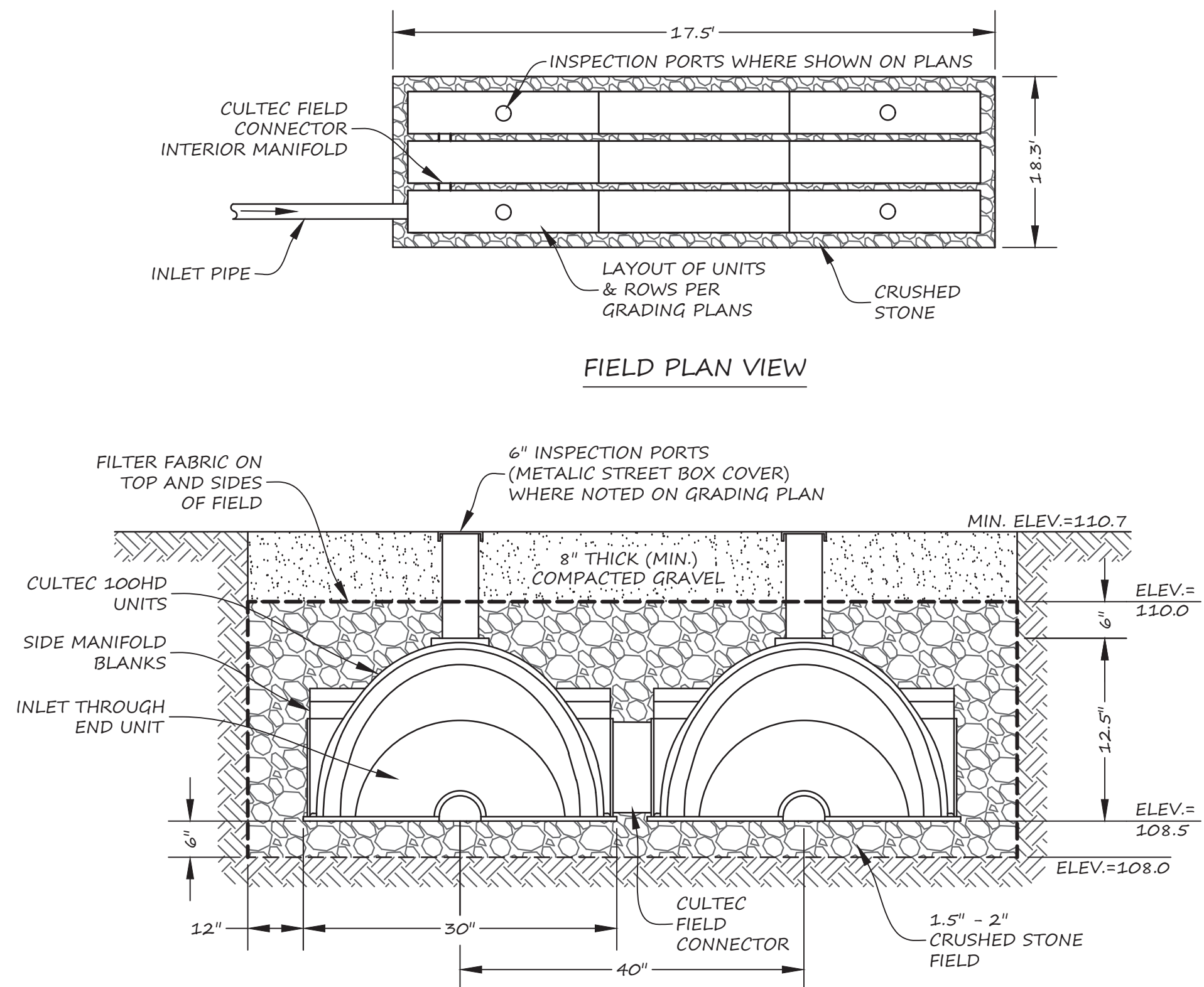


730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-3



LEGACY
ENGINEERING



NOTES:

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ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE

UTILITY NOTES:

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LEGEND & ABBREVIATIONS

- CB: SINGLE-GRADE CATCH BASIN
- CB: DOUBLE-GRADE CATCH BASIN
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- ODMH: DRAIN MANHOLE
- TR DR: TRENCH DRAIN
- INFIL TR: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- OSMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- OSD: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- WGV: WATER GATE VALVE
- CS: WATER SERVICE CURB STOP
- MSB: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- LP: LIGHT POLE
- UP: UTILITY POLE
- GUY: GUY WIRE
- SP: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.B.: INTEGRAL SLOPED BIT BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
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RIVERFRONT AREA:

- RIVERFRONT AREA:
 - TOTAL: 41,299 S.F.
 - INNER: 29,486 S.F.
 - OUTER: 11,813 S.F.
- DISTURBED RIVERFRONT AREA:
 - TOTAL: 17,106 S.F. (41% OF TOTAL RA)
 - INNER: 8,492 S.F. (29% OF TOTAL INNER RA)
 - OUTER: 8,614 S.F. (73% OF TOTAL OUTER RA)
 - COMPENSATORY FLOOD STORAGE AREA EXCLUDED

ZONING SUMMARY

LOT AREA	REQUIRED	LOT 45
LOT FRONTAGE	150'	59,429 S.F.
FRONT SETBACK	40'	28.500'
SIDE SETBACK	30'	21.1'
REAR SETBACK	30'	90.3'
HEIGHT	2.5 STORIES	120'±
LOT COVERAGE	20%	6.1%
PERFECT SQUARE	150'x150'	YES
% IN CONSERV. DIST.	25% MAX	7.0%

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II
GROUNDWATER PROTECTION
DISTRICT GW-1
CONSERVANCY DISTRICT
(PARTIALLY)

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520F



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2023.12.05 12:40:30 -05'00'

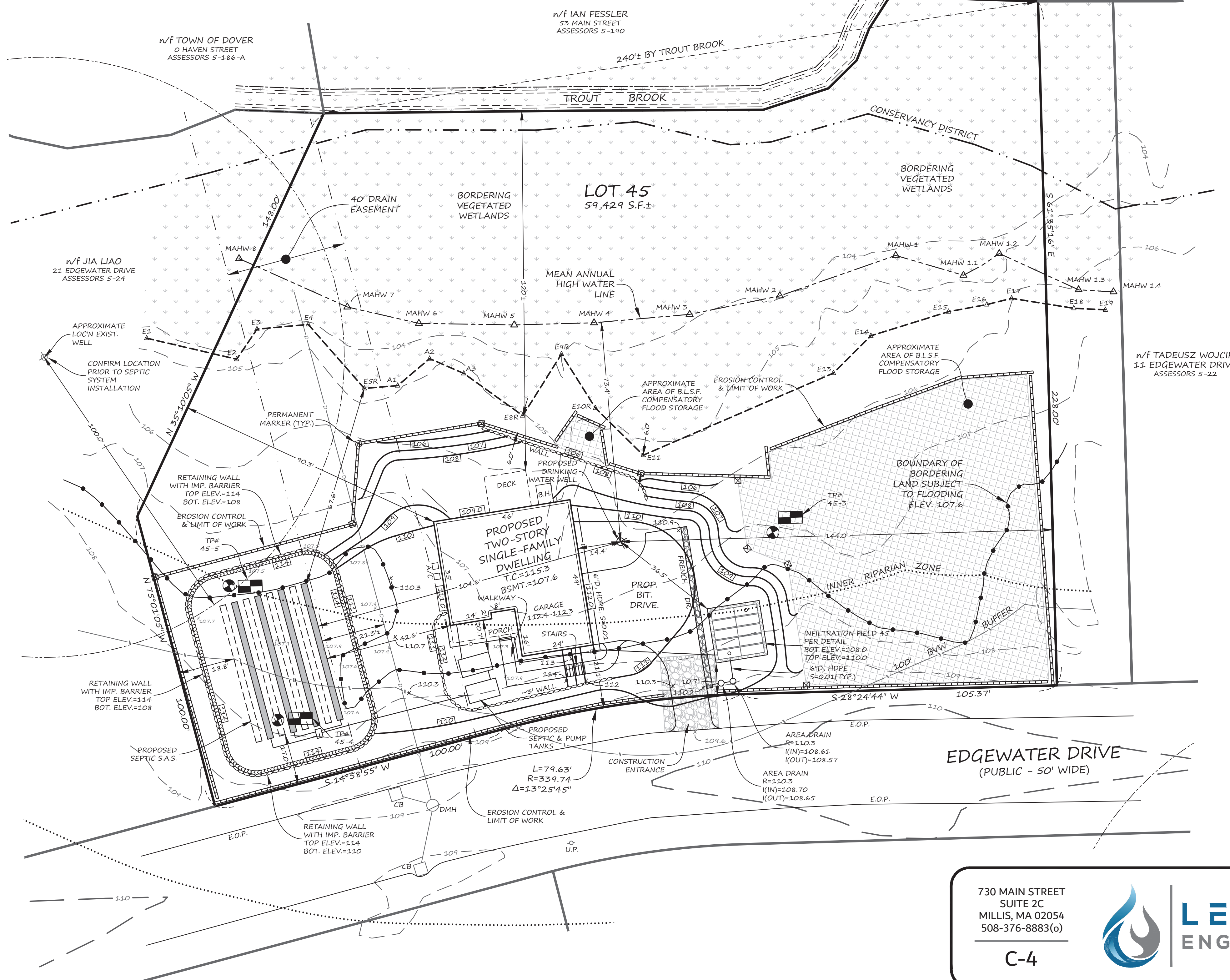
PLAN SCALE: 1" = 20'



PLAN DATE: JUNE 7, 2023

REVISION	DATE	BY
REVISED DESIGN INFORMATION	2023-11-15	D.J.M.
ADDED BURHEADS & HVAC UNITS	2023-12-05	D.J.M.

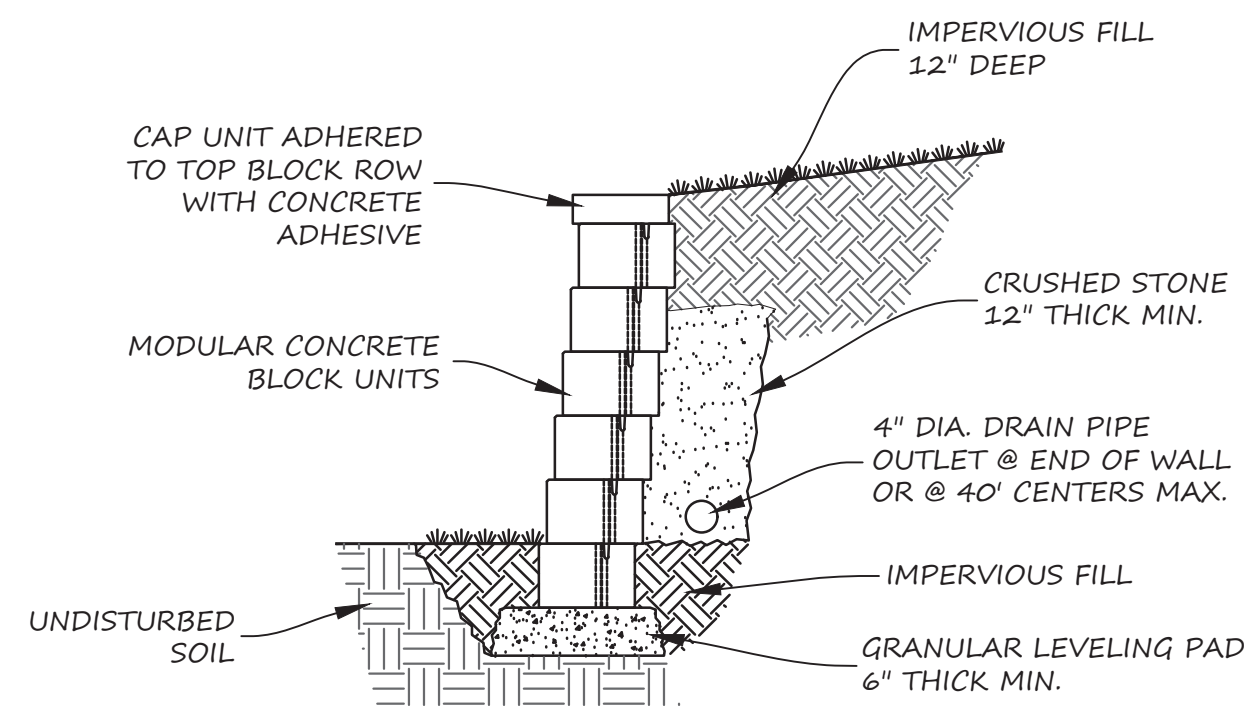
DOVER HOMES
LOT 45
PRELIMINARY SITE
PLAN OF LAND IN
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730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-4

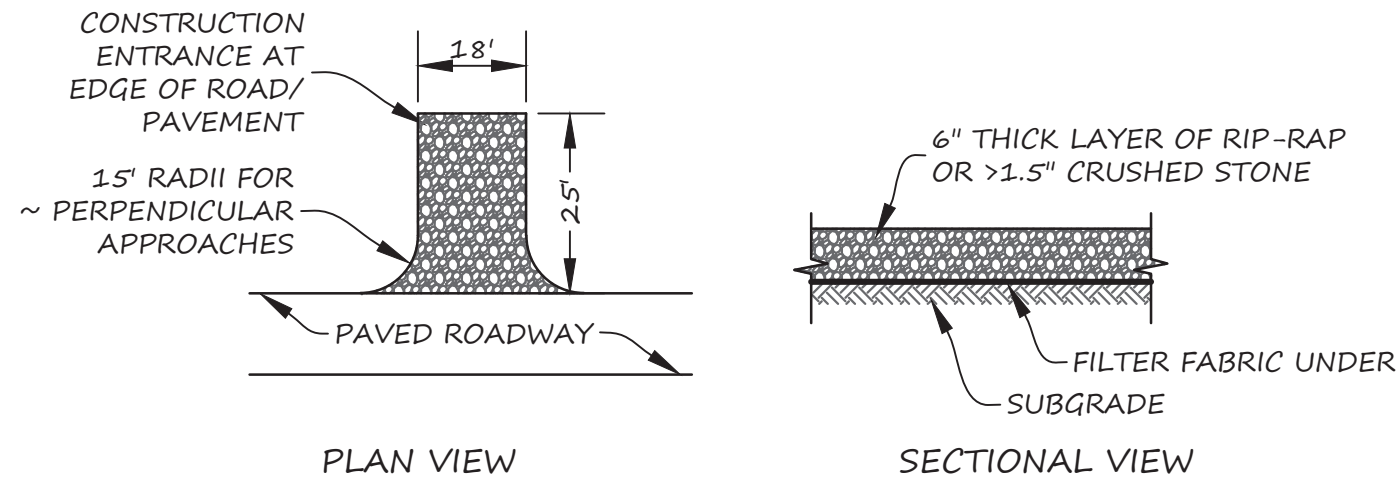




- NOTES:
1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
 2. WALL HEIGHTS OVER FOUR FEET, INCLUDING FOOTING, MAY REQUIRE A BUILDING PERMIT AND/OR STRUCTURAL DESIGN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY BUILDING PERMITS AND FOR PROVIDING STRUCTURAL WALL DESIGN MEETING THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, AS DEEMED APPLICABLE BY THE BUILDING INSPECTOR.
 3. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

TYPICAL "SMALL BLOCK" RETAINING WALL

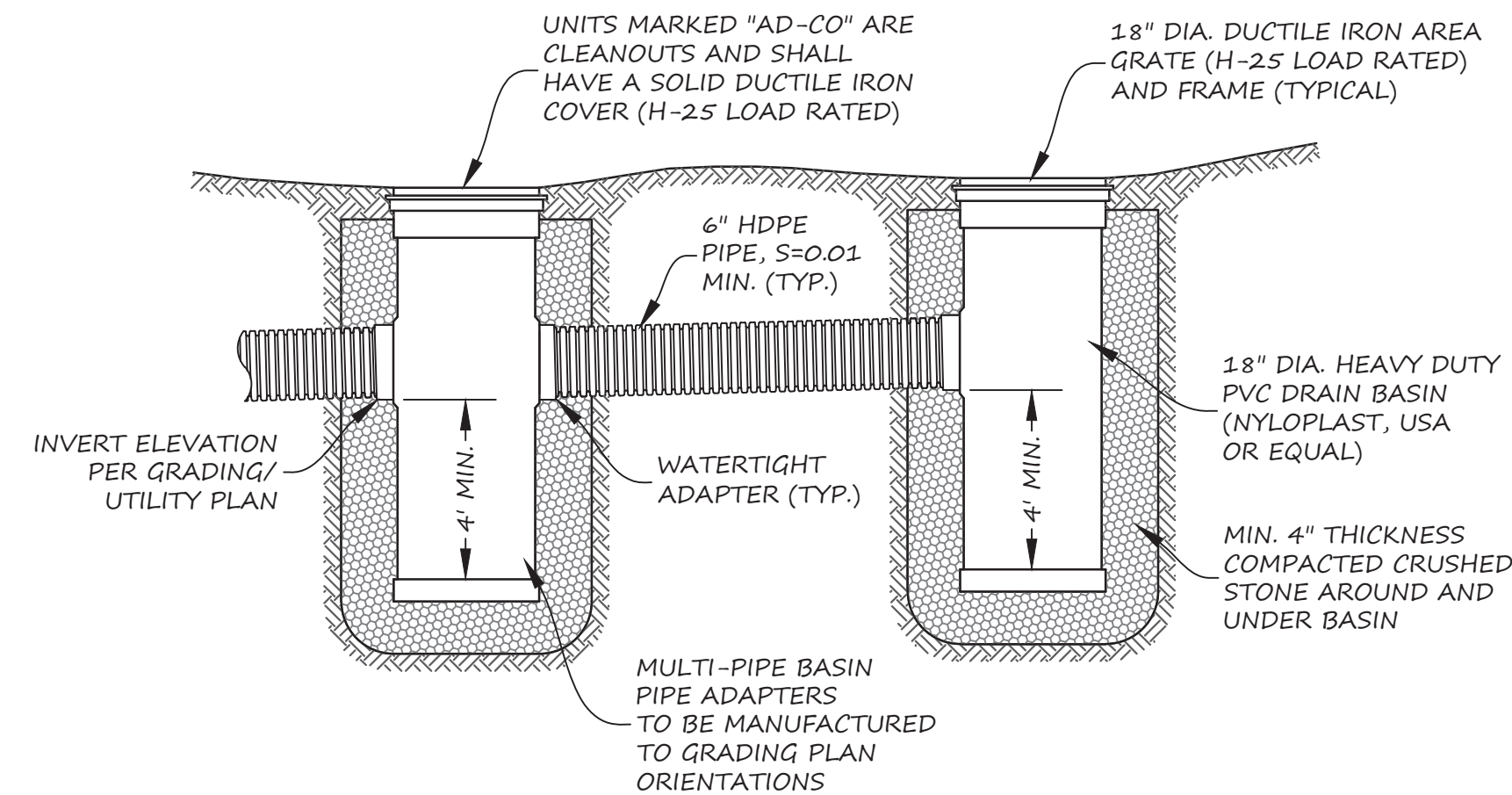
NOT TO SCALE



- NOTES:
1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

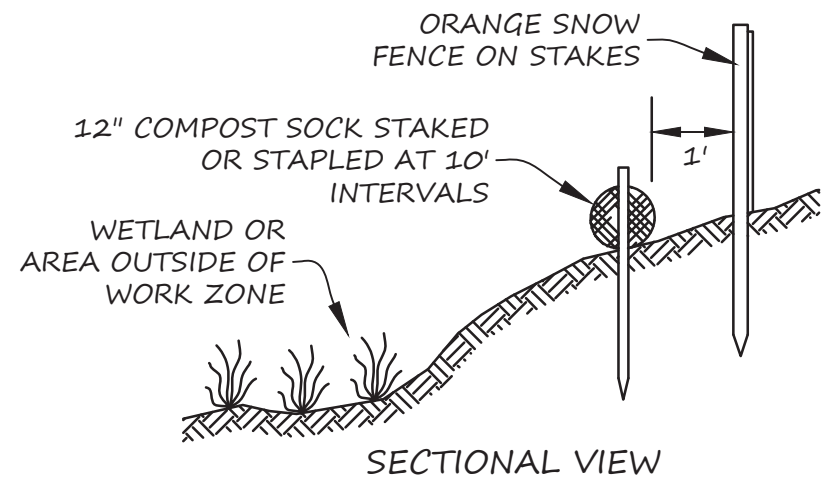
CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



AREA DRAIN (A.D.) DETAIL

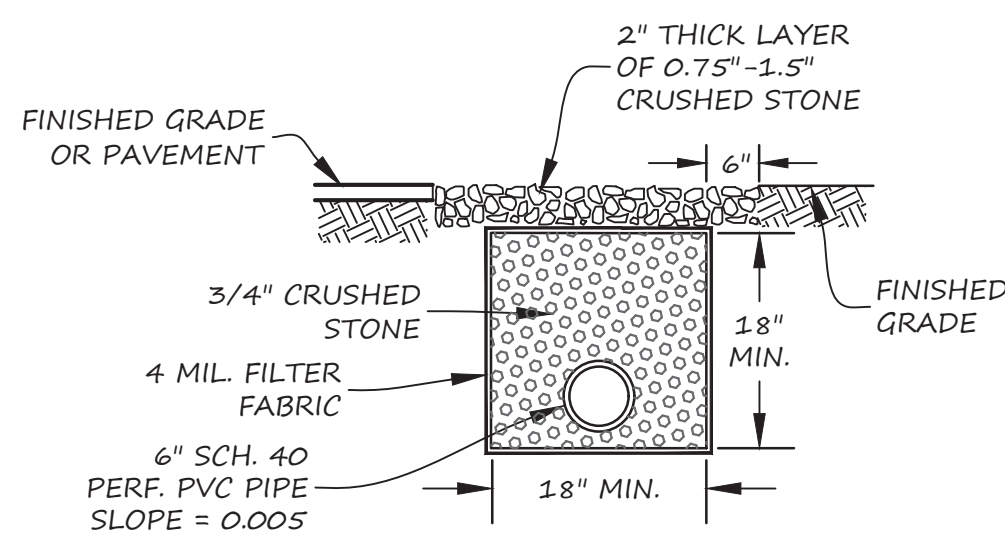
NOT TO SCALE



NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH COMPOST MEDIA. JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

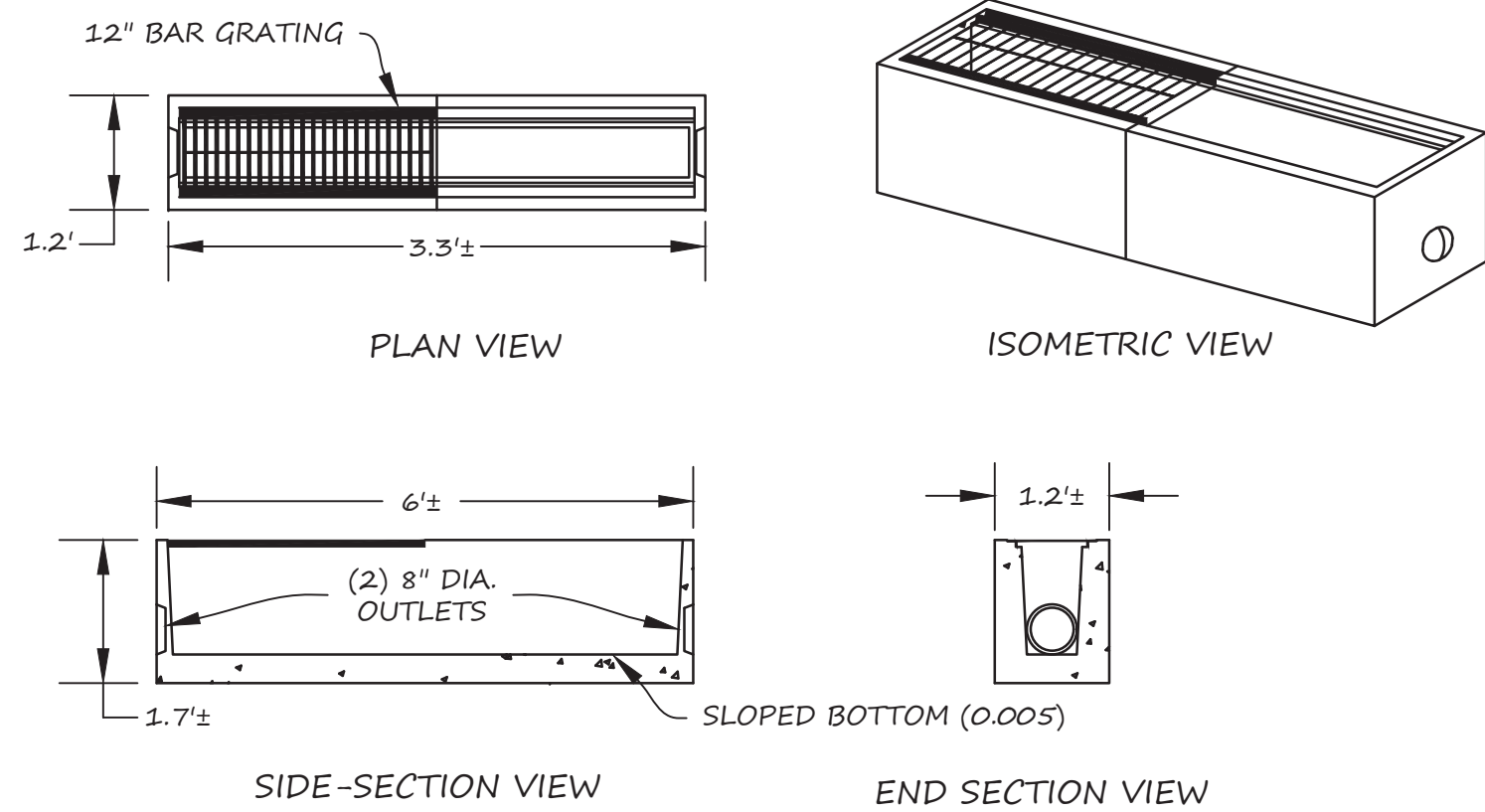
EROSION CONTROL DETAIL (COMPOST SOCK)

NOT TO SCALE



FRENCH DRAIN

NOT TO SCALE



- NOTES:
1. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
 2. SHALL CONFORM TO H-20 LOADINGS.
 3. SHALL BE POWER DRAIN S300K BY ACO DRAIN OR EQUAL.

TRENCH DRAIN DETAIL

NOT TO SCALE

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II (PARTIALLY)
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A



Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2023.12.05 12:39:36
-05'00'

PLAN SCALE: NOT TO SCALE

PLAN DATE: JUNE 7, 2023		
REVISION	DATE	BY
REVISED DESIGN INFORMATION	2023-11-15	D.J.M.
ADDED BULKHEADS & HVAC UNITS	2023-12-05	D.J.M.
	</	

PLAN DATE: JUNE 7, 2023

DOVER HOMES
LOT 45
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING