

LEGEND & ABBREVIATIONS

CB: SINGLE-GRATE CATCH BASIN
CB: DOUBLE-GRATE CATCH BASIN
OPTU xxx: PROPRIETARY STORMWATER UNIT
TR: DRAIN MANHOLE
TR: TRENCH DRAIN
INFIL: INFILTRATION TRENCH
X" D: DRAIN PIPELINE
RCP: REINFORCED CONCRETE PIPE
PVC: POLYVINYL CHLORIDE PIPE
OSMH: SEWER MANHOLE
X" S: SEWER PIPELINE
X" S: SEWER SERVICE CLEANOUT
X" W: WATER MAIN
HYD: HYDRANT
I G.V.: WATER GATE VALVE
C.S.: WATER SERVICE CURB STOP
M.B.: WATER SERVICE METER BOX
G: GAS PIPELINE
E: ELECTRIC CONDUIT
LP: LIGHT POLE
UP: UTILITY POLE
G.Y.: GUY WIRE
S.P.: TRAFFIC SIGNAL POLE
252: EXISTING CONTOUR
252: PROPOSED CONTOUR
E.O.P.: EDGE OF PAVEMENT
C.B.: INTEGRAL SLOPED BIT. BERM
V.B.B.: VERTICAL BITUMINOUS BERM
S.G.C.: SLOPED GRANITE CURB
V.G.C.: VERTICAL GRANITE CURB
V.C.C.: VERTICAL CONCRETE CURB
E.C.S.: EDGE CONCRETE SLAB
G.V.: GATE VALVE
C.L.F.: CHAIN LINK FENCE
W.S.F.: WOOD STOCKADE FENCE
P.P.F.: PVC PICKET FENCE
G.R.: GUARD RAIL
C.C.: HANDICAP CURB CUT

EXISTING CONDITIONS NOTES:

- UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
- EXISTING SEPTIC AND WELL LOCATIONS ON ADJOINING PROPERTIES FROM RECORD INFORMATION AT THE BOARD OF HEALTH.
- TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING, INC. OFF-SITE AND WETLAND AREA TOPOGRAPHICAL DATA FROM MASSGIS LIDAR DATA. DATUM: NAVD 88
- WETLAND FLAGS AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
- FEMA 100-YEAR FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM THE FLOOD INSURANCE STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.

SEPTIC NOTES:

BEDROOMS: 4 DESIGN FLOW: 440 GPD SEPTIC TANK: 1,500 GAL.
PERCOLATION RATE: <2 MPI GARB. GRINDER?: NO
PROPOSED SOIL ABSORPTION SYSTEM: TWO 43' LONG X 3' WIDE X 2' DEEP TRENCHES
DESIGN CAPACITY: [(43' x (7' BOTTOM AND SIDES)) x 2 TRENCHES x 0.74 GPD/S.F. = 445 GPD
S.H.G.W. ELEVATION = 106.1
SYSTEM BOTTOM ELEVATION = 111.3

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II (PARTIALLY)
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL

05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A



Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2024.01.08
12:37:08 -05'00'



PLAN SCALE: 1" = 20'

REVISION	DATE	BY
REVISED DESIGN INFORMATION	2023-11-15	D.J.M.
ADDED BULKHEADS & HVAC UNITS	2023-12-05	D.J.M.
REVISIONS PER TOWN COMMENTS	2024-01-08	D.J.M.

PLAN DATE: JUNE 7, 2023

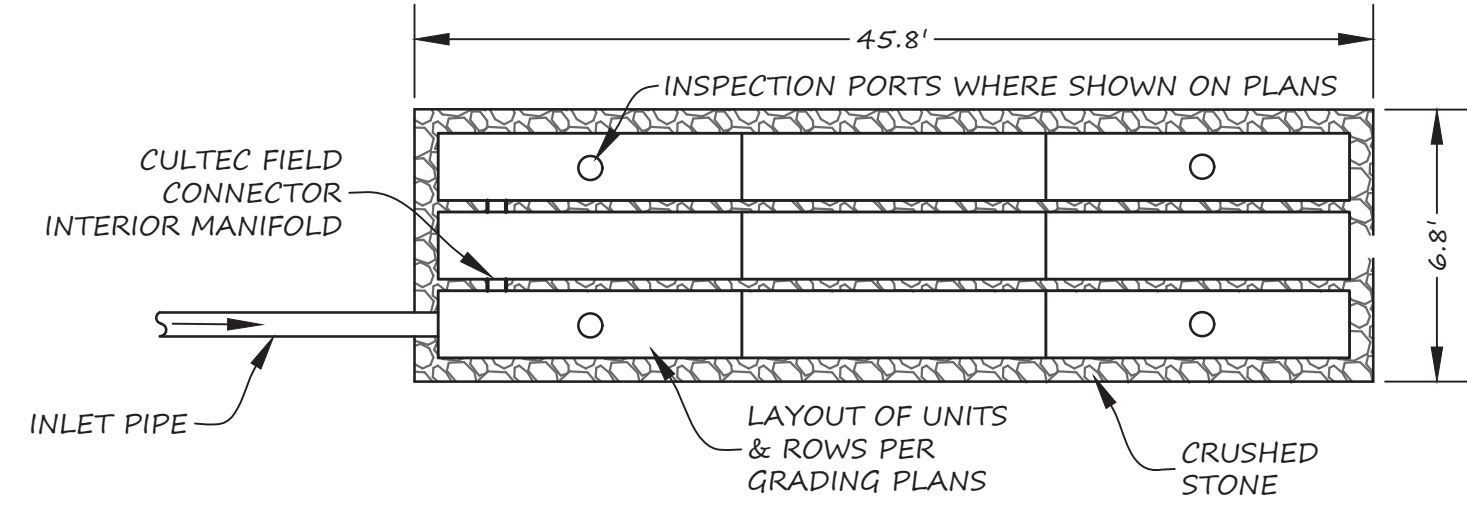
DOVER HOMES
LOT 1A
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

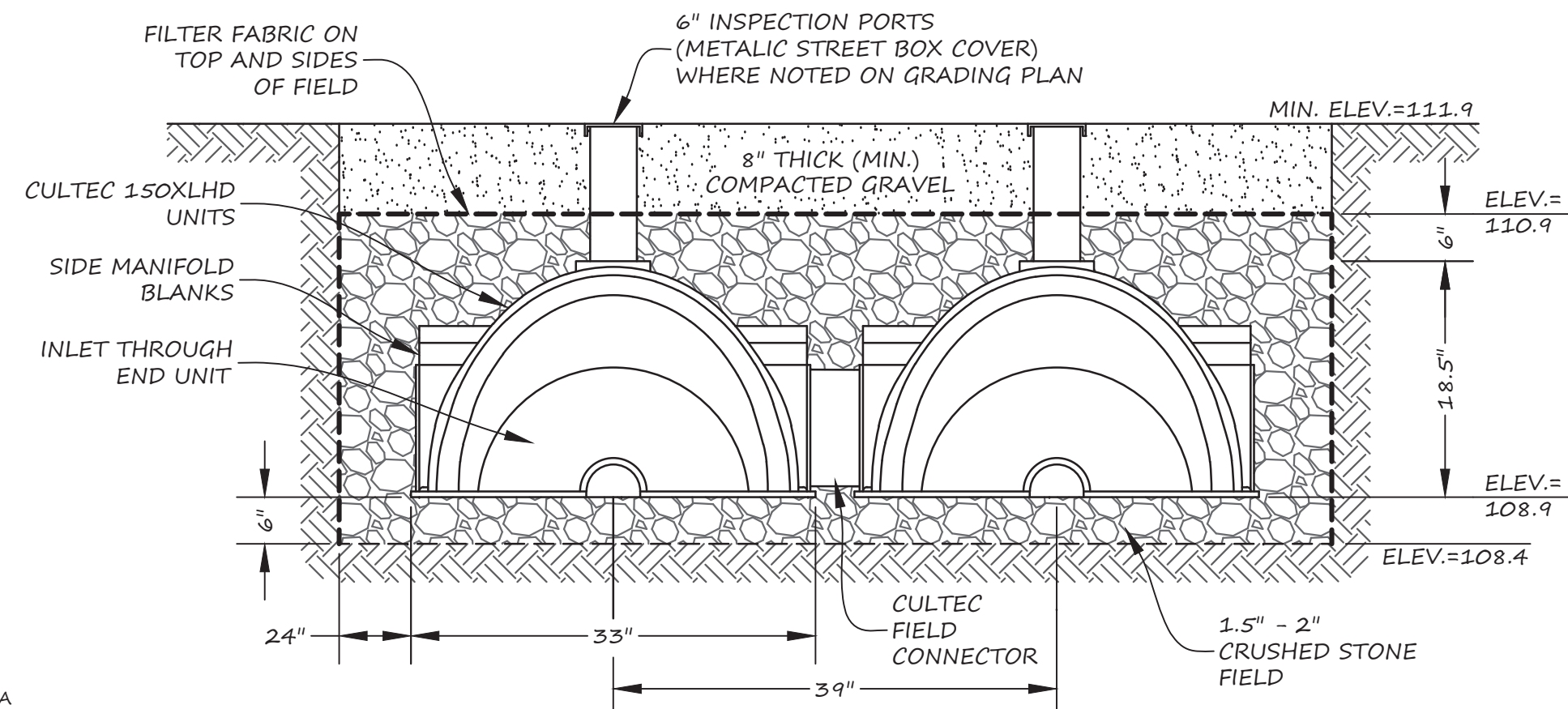


LEGACY
ENGINEERING

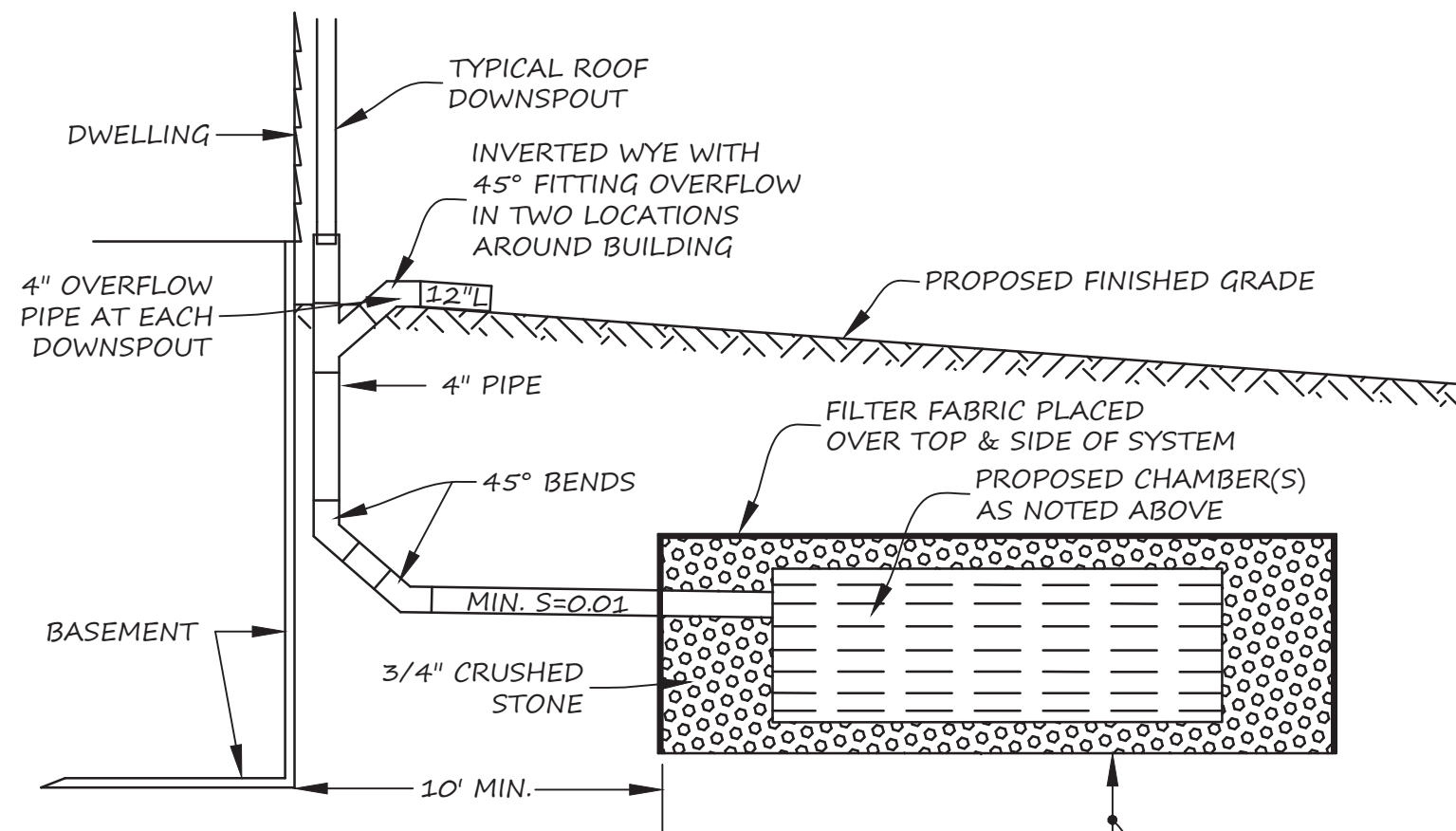
C-1



FIELD PLAN VIEW



SECTION THROUGH TYPICAL LEACHING FIELD

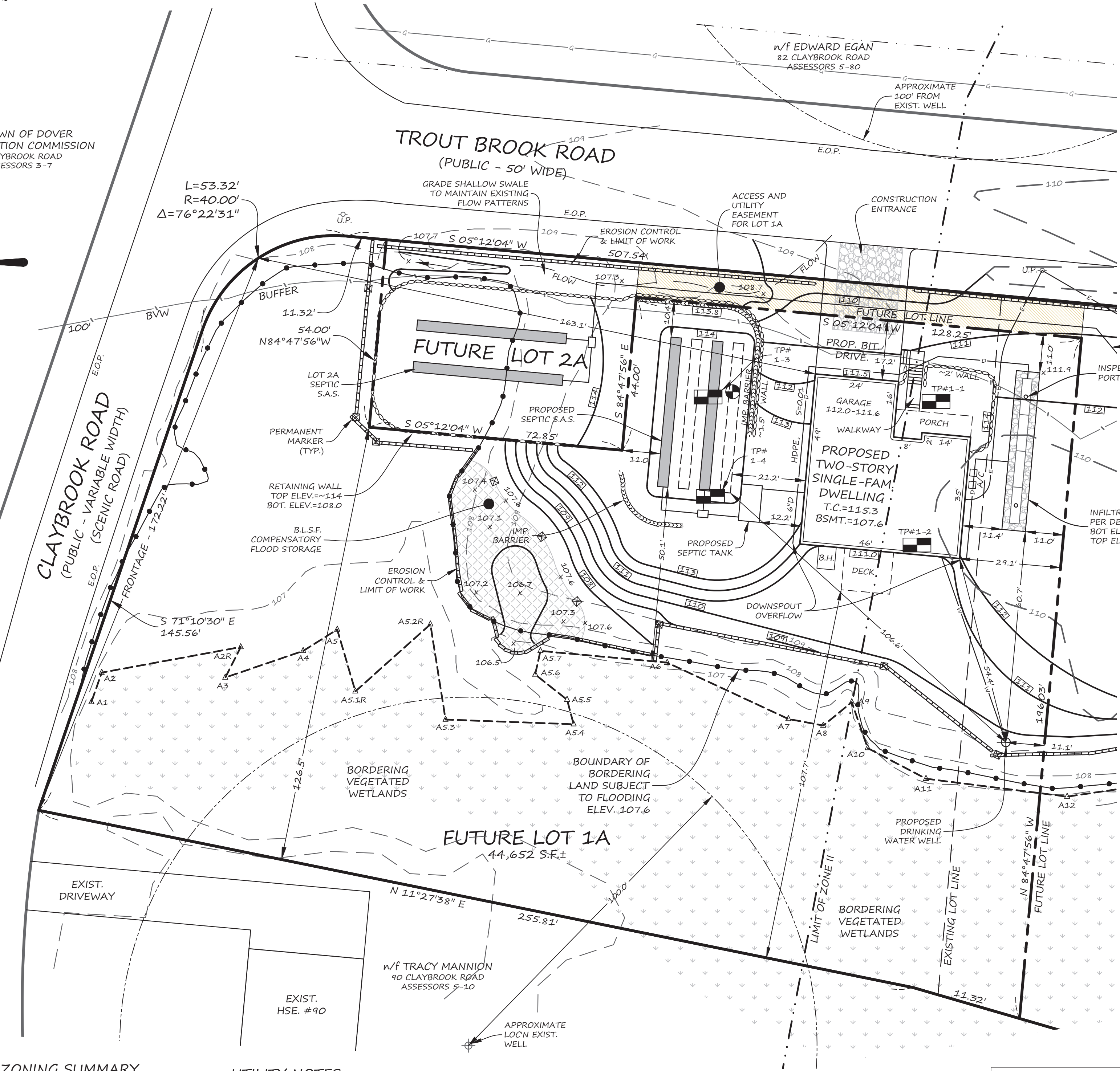


NOTES:

- INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
- THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 442 C.F.
- PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
- USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
- ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE



ZONING SUMMARY

	REQUIRED	LOT 1A
LOT AREA	43,560 S.F.	45,652 S.F.
LOT FRONTAGE	150'	172.22'
FRONT SETBACK	40'	163.1'
SIDE SETBACK	30'	17.2'
REAR SETBACK	30'	29.1'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT IMP. COVERAGE	20%	6.1%
PERFECT SQUARE	150'x150'	N0

UTILITY NOTES:

- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
- SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

CUT/FILL:

- TOTAL CUT: 200 C.Y.
- TOTAL FILL: 1,300 C.Y.
- NET: 1,100 C.Y. FILL

LOTS 1A & 2A COMPENSATORY FLOOD STORAGE

	HEIGHT	AREA	VOLUME		HEIGHT	AREA	VOLUME		CUMULATIVE
	CHANGE	FILLED	FILLED		CHANGE	RESTORED	RESTORED	CHANGE	CHANGE
ELEV.	(FT.)	(S.F.)	(C.F.)	ELEV.	(FT.)	(S.F.)	(C.F.)	(C.F.)	(C.F.)
107	0.0	5	0	106.6	0.0	10	0	0	0
107.6	0.6	1,700	510	107.6	1.0	1,120	570	60	60

LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
CB: DOUBLE-GRATE CATCH BASIN
CPTU: PROPRIETARY STORMWATER UNIT
DMH: DRAIN MANHOLE
TR. DR.: TRENCH DRAIN
INFIL. TR.: INFILTRATION TRENCH
X'D: DRAIN PIPELINE
RCP: REINFORCED CONCRETE PIPE
PVC: POLYVINYL CHLORIDE PIPE
OSMH: SEWER MANHOLE
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C.O.: SEWER SERVICE CLEANOUT
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I.G.V.: WATER GATE VALVE
C.S.: WATER SERVICE CURB STOP
M.B.: WATER SERVICE METER BOX
G: GAS PIPELINE
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L.P.: LIGHT POLE
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G.Y.: GUY WIRE
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252: EXISTING CONTOUR
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P.P.F.: PVC PICKET FENCE
G.R.: GUARD RAIL
C.C.: HANDICAP CURB CUT

SEPTIC NOTES:

BEDROOMS: 4 DESIGN FLOW: 440 GPD SEPTIC TANK: 1,500 GAL.
PERCOLATION RATE: <2 MPI GARB. GRINDER?: NO
PROPOSED SOIL ABSORPTION SYSTEM: TWO 43' LONG X 3' WIDE X 2' DEEP TRENCHES
DESIGN CAPACITY: [(43' x 7' BOTTOM AND SIDES)] x 2 TRENCHES x 0.74 GPD/S.F. = 445 GPD
S.H.G.W. ELEVATION = 106.3
SYSTEM BOTTOM ELEVATION = 111.5

EXISTING CONDITIONS NOTES:

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- TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING, INC. OFF-SITE AND WETLAND AREA TOPOGRAPHICAL DATA FROM MASSGIS LIDAR DATA. DATUM: NAVD 88
- WETLAND FLAGS AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
- FEMA 100-YEAR FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM THE FLOOD INSURANCE STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.

CUT/FILL:

- TOTAL CUT: 150 C.Y.
- TOTAL FILL: 1,150 C.Y.
- NET: 1,000 C.Y. FILL

UTILITY NOTES:

- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
- SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

ZONING SUMMARY

LOT AREA	REQUIRED	LOT 2A
LOT FRONTAGE	43,560 S.F.	46,934 S.F.
FRONT SETBACK	150'	210.00'
SIDE SETBACK	40'	32.0'
REAR SETBACK	30'	29.1'
HEIGHT	30'	119.0'
LOT COVERAGE	2.5 STORIES	<2.5 STORIES
PERFECT SQUARE	20%	6.2%
	150'x150'	YES

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II (PARTIALLY)
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL

05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A



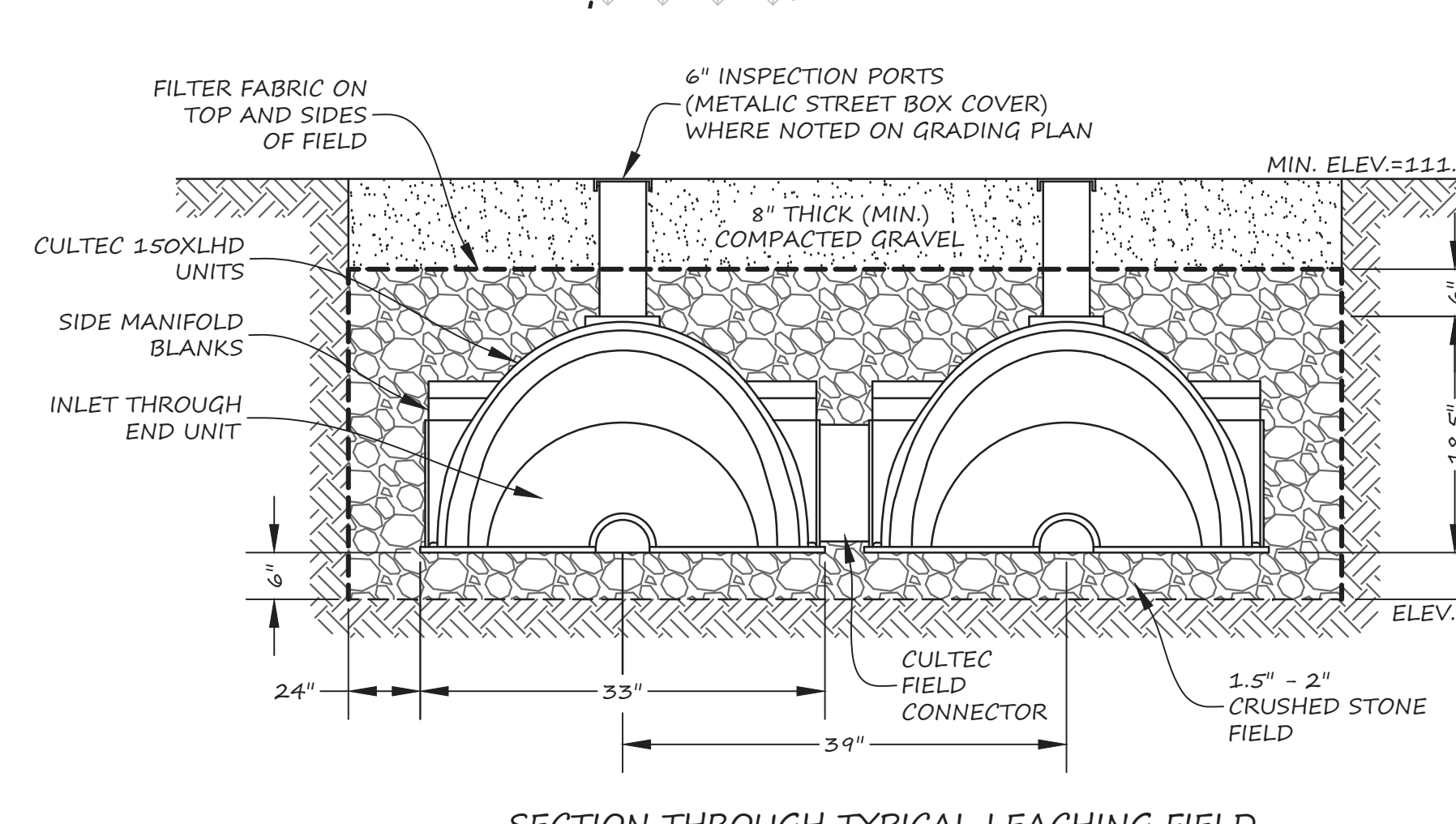
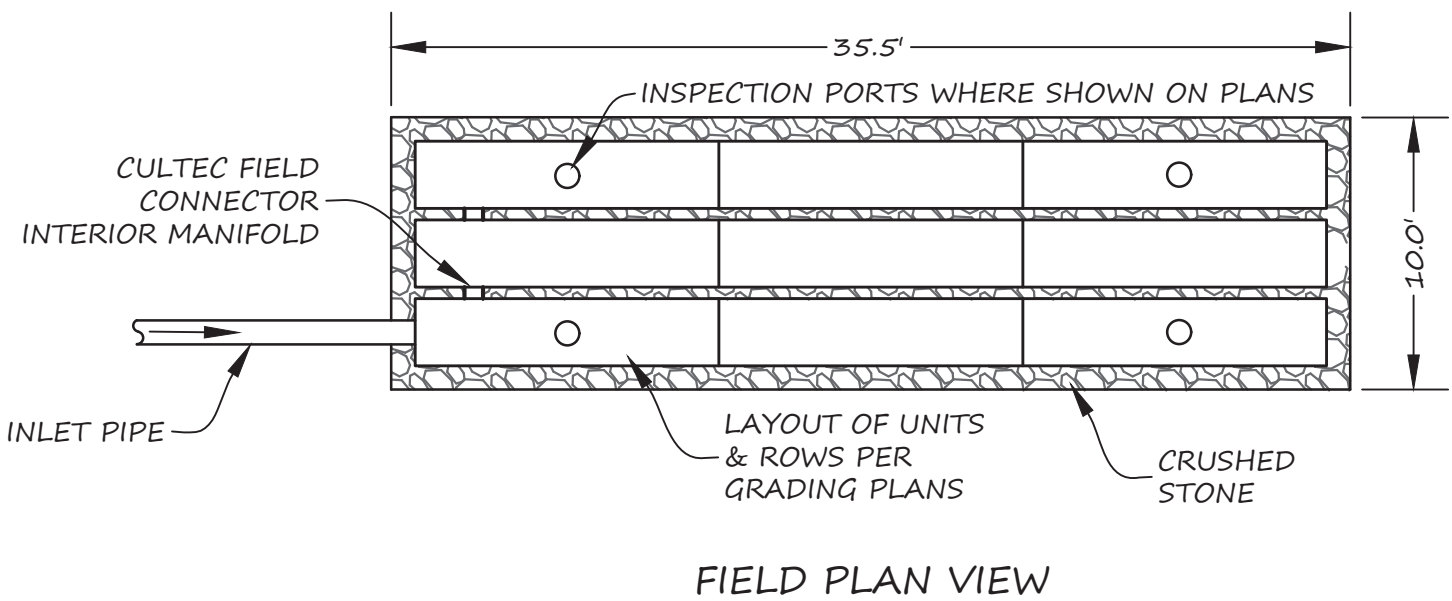
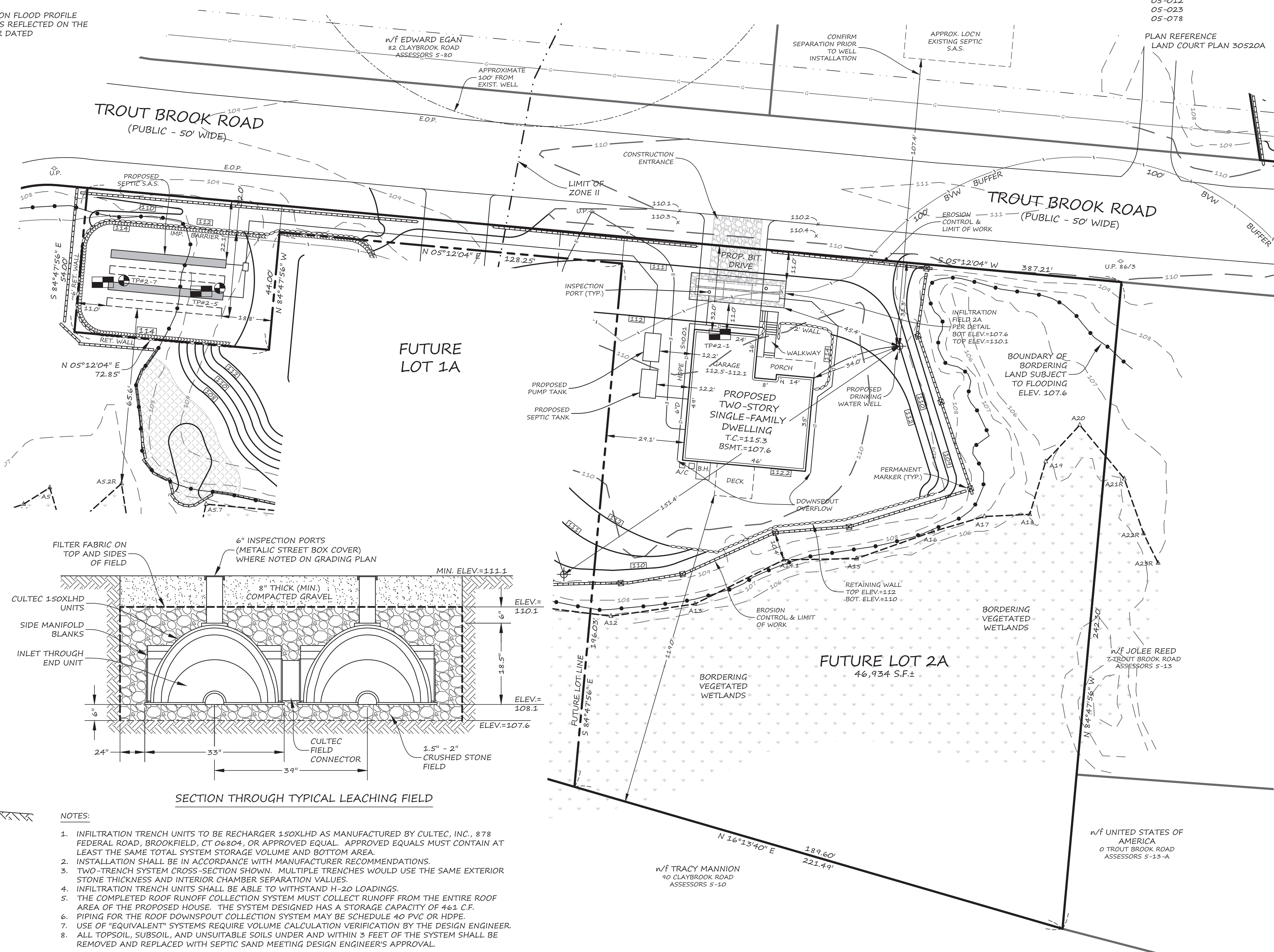
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Date: 2024.01.08 12:37:26
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PLAN SCALE: 1" = 20'

PLAN DATE: JUNE 7, 2023

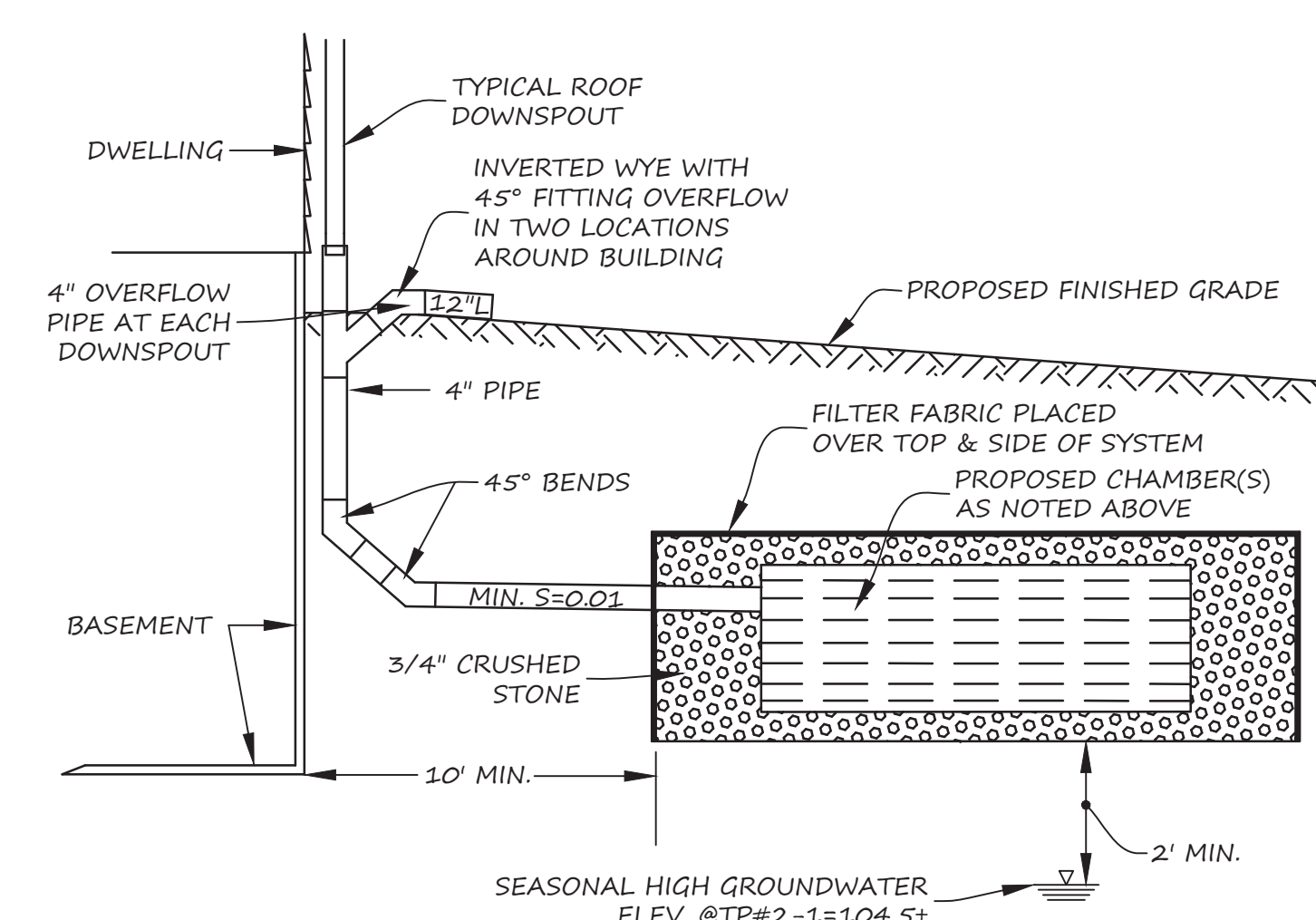
REVISION	DATE	BY
REVISED DESIGN INFORMATION	2023-11-15	D.J.M.
ADDED BULKHEADS & HVAC UNITS	2023-12-05	D.J.M.
REVISIONS PER TOWN COMMENTS	2024-01-08	D.J.M.

DOVER HOMES
LOT 2A
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA



NOTES:

- INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
- THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 461 C.F.
- PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
- USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
- ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

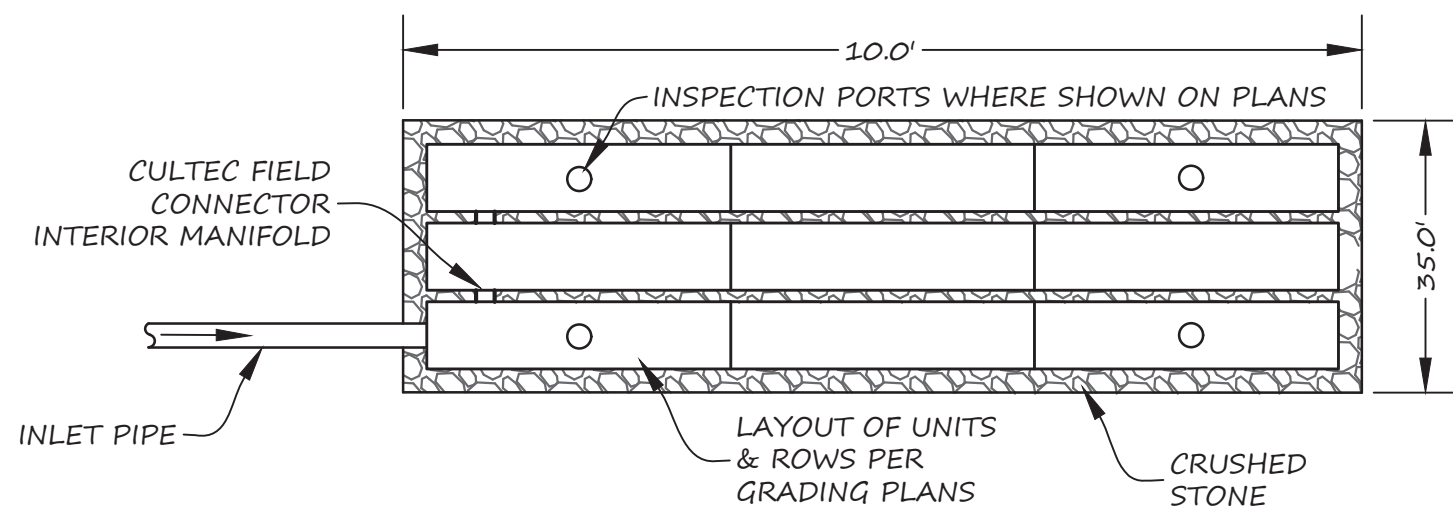


ROOF RUNOFF INFILTRATION FIELD
NOT TO SCALE

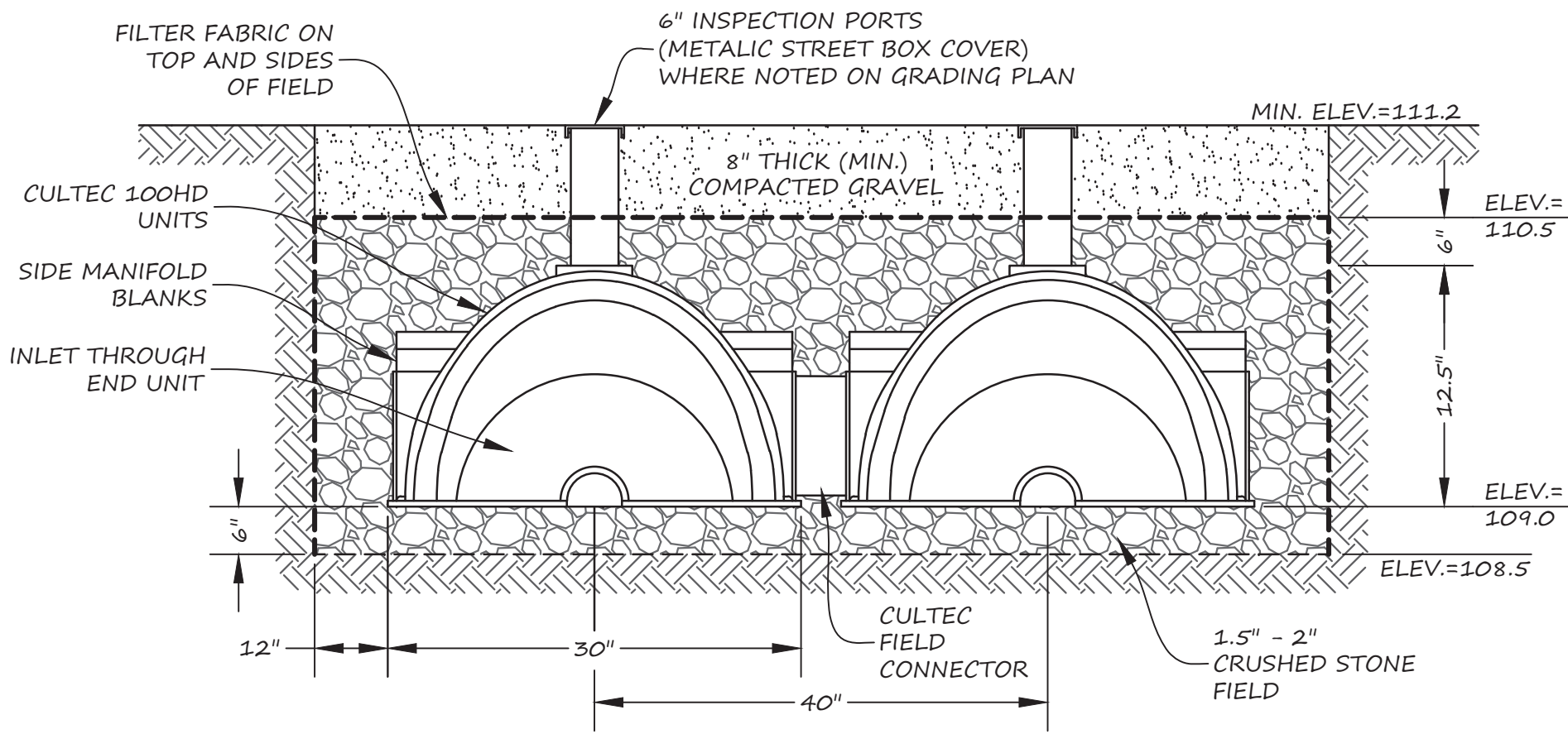
LOTS 1A & 2A COMPENSATORY FLOOD STORAGE								
HEIGHT	AREA	VOLUME	HEIGHT	AREA	VOLUME	CUMULATIVE		
CHANGE	FILLED	FILLED	CHANGE	RESTORED	RESTORED	CHANGE	CHANGE	
ELEV. (FT.)	(S.F.)	(C.F.)	ELEV. (FT.)	(S.F.)	(C.F.)	(C.F.)	(C.F.)	
107	0.0	5	0	10	0	0	0	
107.6	0.6	1,700	1.0	1,120	570	60	60	

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)





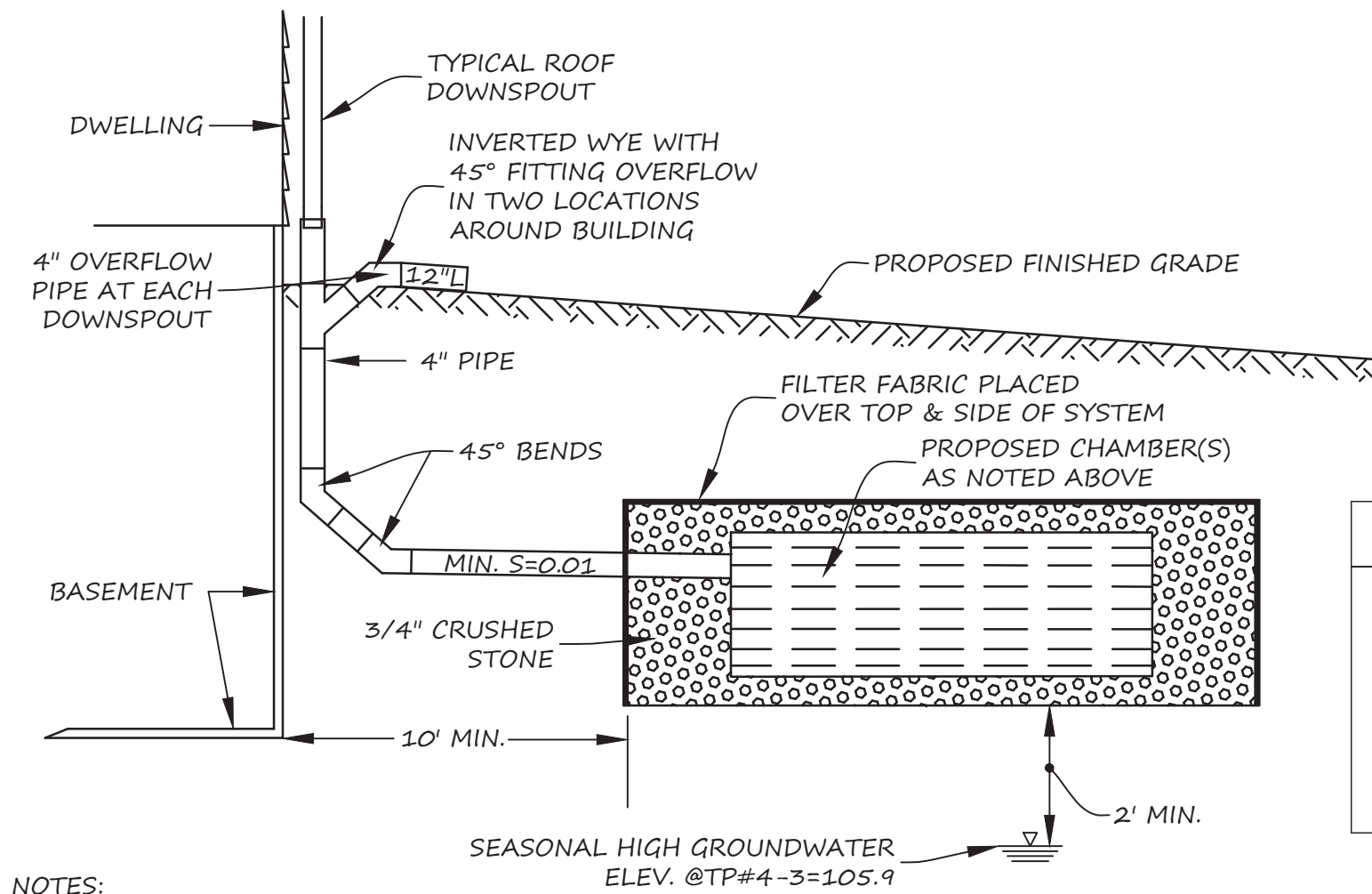
FIELD PLAN VIEW



SECTION THROUGH TYPICAL LEACHING FIELD

ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE



NOTES:

1. INFILTRATION TRENCH UNITS TO BE RECHARGER 100HD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
5. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 375 C.F.
6. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
7. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
8. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

CUT/FILL:

- TOTAL CUT: 100 C.Y.
- TOTAL FILL: 3,150 C.Y.
- NET: 3,050 C.Y. FILL

ZONING SUMMARY

LOT AREA	REQUIRED	LOT 4
LOT FRONTAGE	43.360 S.F.	56.650 S.F.
FRONT SETBACK	150'	157.68'
SIDE SETBACK	40'	32.0'
REAR SETBACK	30'	58.4'
HEIGHT	30'	84.0'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT COVERAGE	20%	6.6%
PERFECT SQUARE	150'x150'	YES

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A

LOT 4 COMPENSATORY FLOOD STORAGE

HEIGHT	AREA	VOLUME	HEIGHT	AREA	VOLUME	CUMULATIVE
CHANGE	FILLED	FILLED	CHANGE	RESTORED	RESTORED	CHANGE
ELEV. (FT.)	(S.F.)	(C.F.)	ELEV. (FT.)	(S.F.)	(C.F.)	(C.F.)
106.9	0.0	50	0	10	0	0
107.3	0.4	1,750	360	1,390	420	60

LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
- CB: DOUBLE-GRATE CATCH BASIN
- OPTU: PROPRIETARY STORMWATER UNIT
- ODMH: DRAIN MANHOLE
- TR DR: TRENCH DRAIN
- INFIL TR: INFILTRATION TRENCH
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- OSMH: SEWER MANHOLE
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- E: ELECTRIC CONDUIT
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 152: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
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UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
3. SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
4. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

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4. WETLAND FLAGS AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
5. FEMA 100-YEAR FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM THE FLOOD INSURANCE STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.

SEPTIC NOTES:

BEDROOMS: 4 DESIGN FLOW: 440 GPD SEPTIC TANK: 1,500 GAL.
PERCOLATION RATE: <2 MPI GAR.B. GRINDER?: NO
PROPOSED SOIL ABSORPTION SYSTEM: TWO 43' LONG X 3' WIDE X 2' DEEP TRENCHES
DESIGN CAPACITY: [(43' x (7' BOTTOM AND SIDES)) x 2 TRENCHES x 0.74 GPD/S.F. = 445 GPD
S.H.G.W. ELEVATION = 105.8
SYSTEM BOTTOM ELEVATION = 111.0

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-3

PLAN DATE: JUNE 7, 2023

DOVER HOMES
LOT 4
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

REVISION

DATE

BY

REVISION

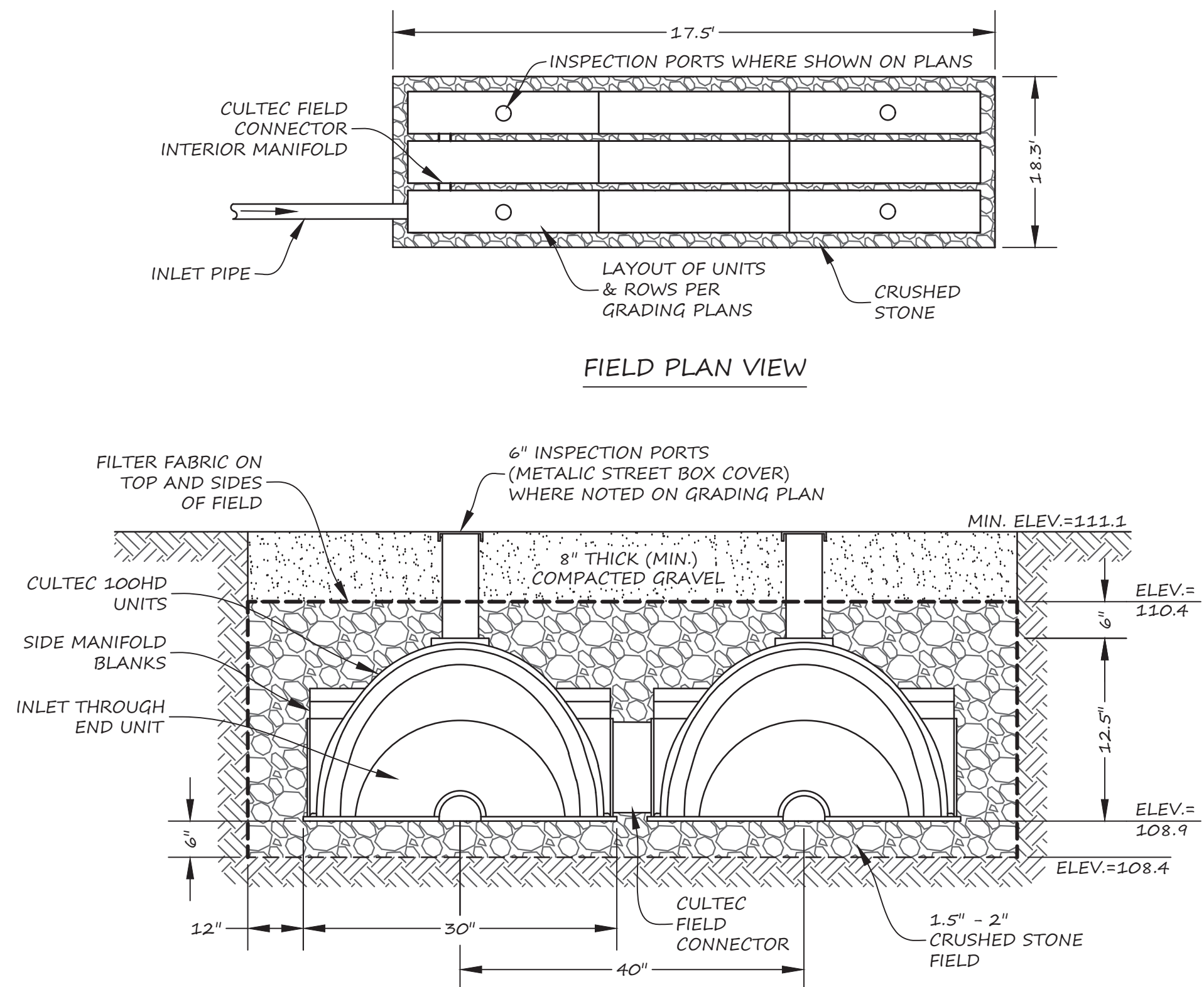
DATE

BY

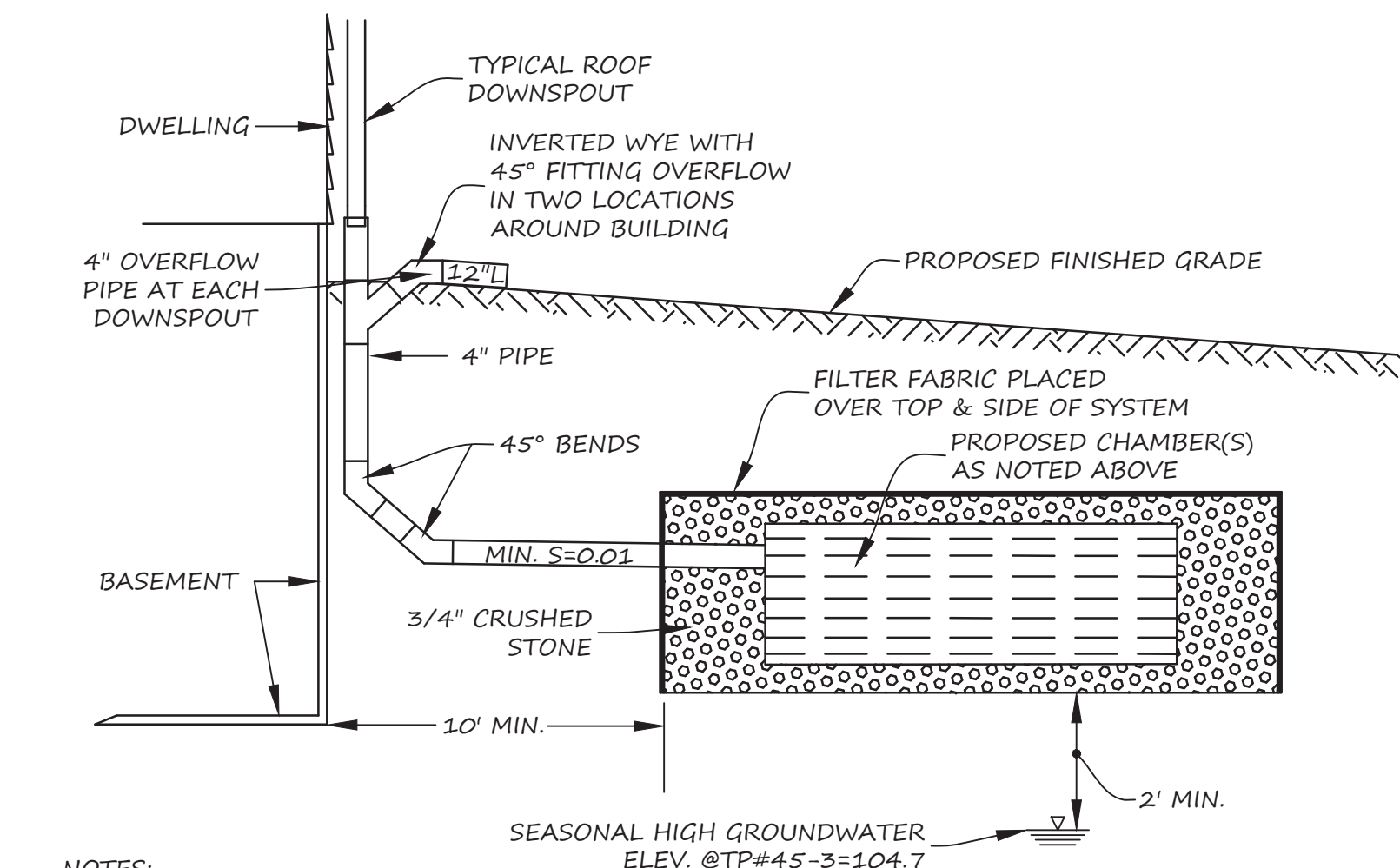
REVISION

DATE

BY



SECTION THROUGH TYPICAL LEACHING FIELD



NOTES:

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- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
- THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 34.9 C.F.
- PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
- USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
- ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ROOF RUNOFF INFILTRATION FIELD

NOT TO SCALE

LOT 45 COMPENSATORY FLOOD STORAGE							
	HEIGHT	AREA	VOLUME	AREA	VOLUME	CUMULATIVE	
ELEV.	CHANGE	FILLED	FILLED	RESTORED	RESTORED	CHANGE	CHANGE
(FT.)	(FT.)	(S.F.)	(C.F.)	(S.F.)	(C.F.)	(C.F.)	(C.F.)
104.6	0.0	0	0	220	0	0	0
105.6	1.0	600	300	568	390	90	90
106.6	1.0	2,980	1,790	8,520	4,540	2,750	2,840
107.6	1.0	8,080	5,530	2,570	5,550	20	2,860

LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
- CB: DOUBLE-GRATE CATCH BASIN
- OPTU xxx: PROPRIETARY STORMWATER UNIT
- ODMH: DRAIN MANHOLE
- TR: DR: TRENCH DRAIN
- INFIL: TR: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- OSMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- α.D: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- 1 G.V.: WATER GATE VALVE
- CS: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- LP: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT

EXISTING CONDITIONS NOTES:

- UTILITY INFORMATION IS BASED ON VISIBLE SURFACE FEATURES AND AVAILABLE RECORD INFORMATION. CONTRACTOR TO CONTACT DIGSAFE AND CONFIRM IN THE FIELD PRIOR TO ANY EXCAVATION.
- EXISTING SEPTIC AND WELL LOCATIONS ON ADJOINING PROPERTIES FROM RECORD INFORMATION AT THE BOARD OF HEALTH.
- TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING, INC. OFF-SITE AND WETLAND AREA TOPOGRAPHICAL DATA FROM MASSGIS LIDAR DATA. DATUM: NAVD 88
- WETLAND FLAGS AND BOUNDARIES FROM PLANS PREPARED BY REALMAPINFO LLC.
- FEMA 100-YEAR FLOOD ELEVATIONS BASED ON FLOOD PROFILE DATA FROM THE FLOOD INSURANCE STUDY AS REFLECTED ON THE REVISED PRELIMINARY FEMA MAP FOR DOVER DATED 04/07/2023.

RIVERFRONT AREA:

- RIVERFRONT AREA:
 - TOTAL: 41,299 S.F.
 - INNER: 29,486 S.F.
 - OUTER: 11,813 S.F.
- DISTURBED RIVERFRONT AREA:
 - TOTAL: 17,106 S.F. (41% OF TOTAL RA)
 - INNER: 8,492 S.F. (29% OF TOTAL INNER RA)
 - OUTER: 8,614 S.F. (73% OF TOTAL OUTER RA)
- COMPENSATORY FLOOD STORAGE AREA EXCLUDED

CUT/FILL:

- TOTAL CUT: 400 C.Y.
- TOTAL FILL: 2,050 C.Y.
- NET: 1,650 C.Y. FILL

ZONING SUMMARY

LOT AREA	REQUIRED	LOT 45
LOT FRONTAGE	150'	285.00'
FRONT SETBACK	40'	21.1'
SIDE SETBACK	30'	90.3'
REAR SETBACK	30'	120'±
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT COVERAGE	20%	6.1%
PERFECT SQUARE	150'x150'	YES
% IN CONSERV. DIST.	25% MAX	7.0%

UTILITY NOTES:

- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
- SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II
GROUNDWATER PROTECTION
DISTRICT GW-1
CONSERVANCY DISTRICT
(PARTIALLY)

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520F



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2024.01.08 12:38:02 -05'00'

PLAN SCALE: 1" = 20'

REVISION	DATE	BY
2023-11-15	D.J.M.	
2023-12-05	D.J.M.	
2024-01-08	D.J.M.	

PLAN DATE: JUNE 7, 2023

REVISION INFORMATION

ADDED BULKHEADS & HVAC UNITS

REVISIONS PER TOWN COMMENTS

DOVER HOMES
LOT 45
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

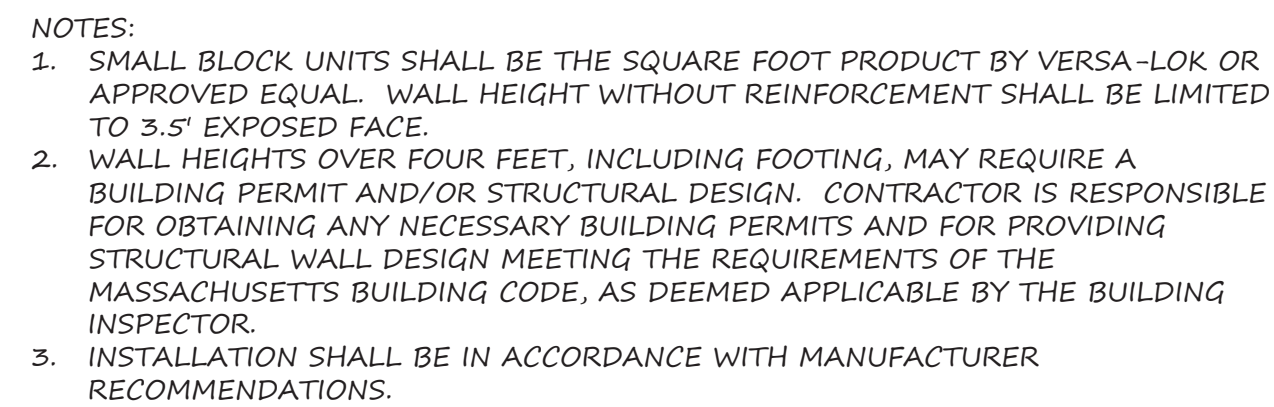


LEGACY
ENGINEERING

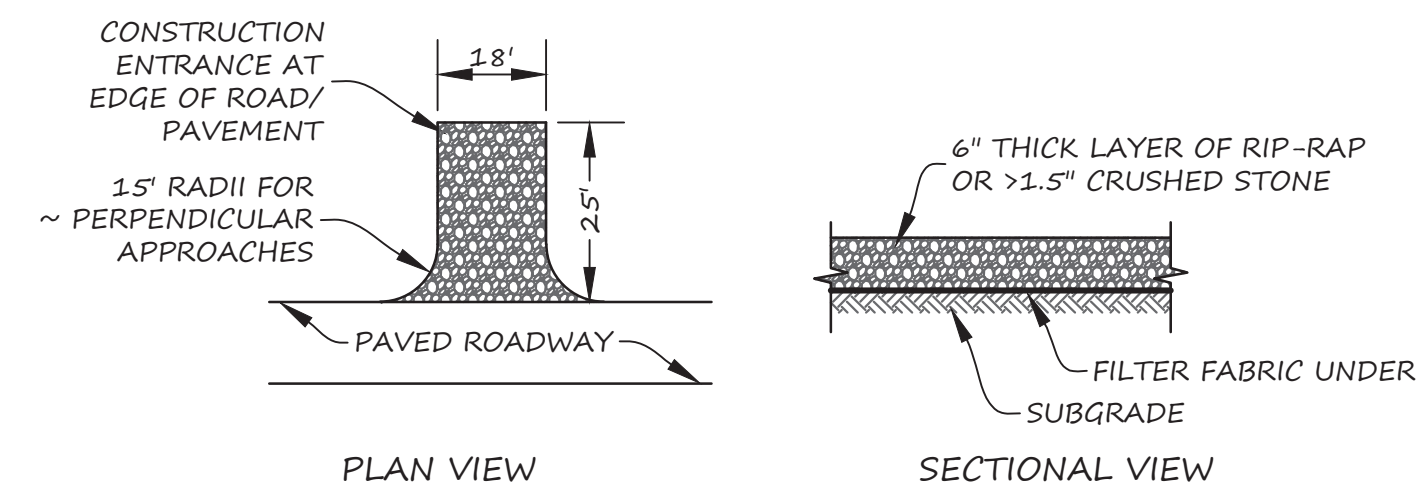
C-4

SEPTIC NOTES:

BEDROOMS: 4 DESIGN FLOW: 440 GPD SEPTIC TANK: 1,500 GAL.
PERCOLATION RATE: 21 MPI GARB. GRINDER: NO
PROPOSED SOIL ABSORPTION SYSTEM: FOUR 4'7" LONG X 2' WIDE X 2' DEEP TRENCHES
DESIGN CAPACITY: [(4'7" x (6" BOTTOM AND SIDES))] x 4 TRENCHES x 0.40 GPD/S.F. = 451 GPD
S.H.G.W. ELEVATION = 106.7
SYSTEM BOTTOM ELEVATION = 111.0



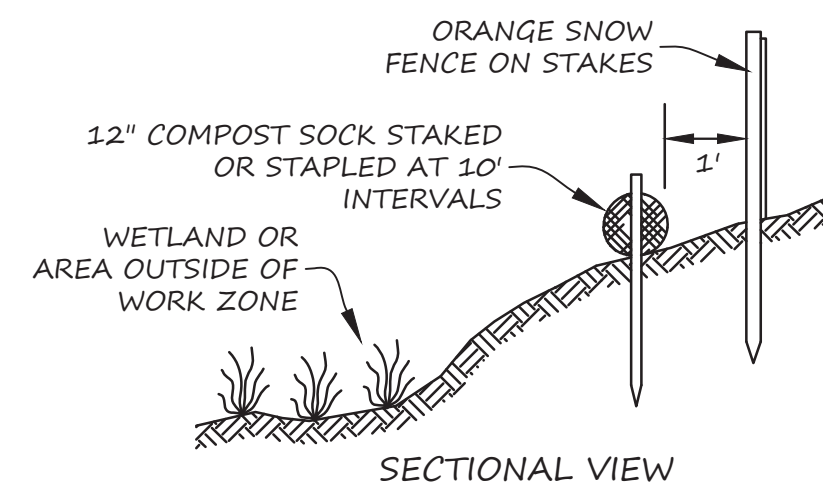
TYPICAL "SMALL BLOCK" RETAINING WALL
NOT TO SCALE



- NOTES:
1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH COMPOST MEDIA. JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

EROSION CONTROL
DETAIL (COMPOST SOCK)

NOT TO SCALE

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II (PARTIALLY)
GROUNDWATER PROTECTION
DISTRICT GW-1

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A



Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2024.01.08 12:38:20
-05'00'

PLAN SCALE: NOT TO SCALE

PLAN DATE: JUNE 7, 2023		
REVISION	DATE	BY
REVISED DESIGN INFORMATION	2023-11-15	D.J.M.
ADDED BULKHEADS & HVAC UNITS	2023-12-05	D.J.M.
REVISIONS PER TOWN COMMENTS	2024-01-08	D.J.M.

DOVER HOMES
LOT 45
PRELIMINARY SITE
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DOVER, MA

730 MAIN STREET
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C-5



LEGACY
ENGINEERING